



City of Hart, Michigan
PLANNING COMMISSION
August 6, 2026 @ 5:00 PM
AGENDA

Hart Council Chambers, 407 State Street, Hart, MI 49420

- 1. Call to order / Roll Call:**
 - a. Commissioners: Cunningham, Fout, LaPorte, Mullen, Root, Clark, Evans
- 2. Approval of Agenda**
- 3. Approval of Minutes**
 - a. June 4, 2026 Regular Meeting
- 4. Public Comments** (limit to 3 minutes per speaker)
- 5. Public Hearing**
 - a. Special Land Use – Taco Bell, 2306 N Comfort Dr
 - *Public Hearing to consider a request for a Special Land Use Permit for a restaurant with drive-through service.*
- 6. Action Items**
 - a. Consideration of Special Land Use Permit and Site Plan – Taco Bell, 2306 N Comfort Dr
 - *Consideration of a Special Land Use Permit.*
 - *Consideration of Final Site Plan approval.*
- 7. Discussion Items**
 - a. Introduction of re-zoning request 111 Church St & 301 S State St.
 - b. 109 Union St – Dangerous Building Update
 - c. Consideration of Recreational Zoned Areas
- 8. Other Business and Communications from Commission members**
- 9. Adjourn**
 - a. *Next regular meeting September 3, 2026*

City Of Hart

407 S. State St
Hart, Mi 49420
Planning Commission
Thursday, June 4th, 2026
Minutes, Draft

MEMBERS PRESENT: Lisa Clark, Jim Cunningham, Jim Evans, Cynitha Fout, Diane LaPorte, Andrew Mullen, and Betty Root(Late)

ABSENT: None

OTHERS PRESENT: City Manager Nichole Kleiner, City Clerk/Treasurer Karla Swihart

- C. Fout called the meeting to order at 4:00 pm.

APPROVAL OF AGENDA:

- J. Evans motioned to approve the agenda and was supported by A. Mullen
 - Ayes: 7 Nays: 0 Absent: 0

APPROVAL OF MINUTES:

- L. Clark motioned to approve the minutes from May 7th, 2026, and was supported by D. LaPorte
 - Ayes: 7 Nays: 0 Absent: 0

PUBLIC COMMENTS ON AGENDA ITEMS:

- NONE

PUBLIC HEARINGS:

- NONE

ACTION ITEMS:

- Discussion and Consideration of a Zoning Text Amendment Regarding Caretaker/Employee Dwelling Units in the C-2 Limited Commercial District
Action: Provide directions to staff regarding the proposed amendment and, if desired, authorize preparation of a formal ordinance amendment and scheduling of a public hearing.
- Staff have identified a potential gap in the Zoning Ordinance regarding businesses that require continuous on-site supervision, security, maintenance, or emergency response capabilities. A towing and auto body business located in the C-2 Limited Commercial District has historically maintained an employee/operator on-site to provide 24-hour towing response. While vehicle repair, body shops, and wrecker services are permitted uses in the C-2 District, the Ordinance does not specifically address caretaker or employee living quarters. Staff is seeking Planning Commission input on whether the Ordinance should allow a caretaker or employee dwelling unit as a **Special Land Use** when on-site occupancy is necessary for business operations.
The intent would not be to introduce general residential uses into the district, but rather to provide a controlled process for businesses with legitimate operational needs, such as towing services, security operations, or similar uses requiring an on-site presence.
If the Commission is supportive of the concept, staff will prepare a formal zoning text amendment and schedule a public hearing for future consideration.
Requested Action:
Provide directions to staff regarding whether a zoning text amendment should be pursued

- D. LaPorte motioned to turn down and say no to Zoning Text Amendment and was supported by J. Evans
 - Ayes: 7 Nays: 0 Absent: 0
- Review FY 25/26 Annual Report and Discuss FY 26/27 Goals
Action: Recommend staff present the PC Annual Report to City Council in accordance with the Michigan Planning Enable Act.

Overview:

The Michigan Planning Enabling Act requires the Planning Commission to provide annual written report to the City Council concerning its operations and the status of planning activities, recommendations, and goals, please find the following summary information for Fy25-26 and potential goals for FT2026-27.

Action Summary Table:

TYPE	2022	2023	2024	2025	2026
Meetings	4	2	5	6	9
Text Amendments	2	0	0	0	6
Site Plans	0	0	1	0	3
Special Land Uses	0	1	0	0	1
Plats	0	0	1	0	0
Site Condos	0	0	0	0	0
Rezoning	0	2	1	0	0

2026 Attendance:

Month	Cynthia Fout Chair	Jim Cunningham Councilor	Diane LaPorte Member	Betty Root Councilor	Lisa Clark (Goldberg) Member	Jim Evans Member	Andrew Mullen Councilor
Meetings	9/9	9/9	9/9	9/9	9/9	8/9	8/9

2026 Reviews

Date	Application	Decision	Vote
11-6-2025	Special Land Use (Drive-Thru) West Shore Collage 710 State St	Approved	6-0-1
11-6-2025	Site Plan Review – West Shore Community Collage 710 State St	Approved	6-0-1
11-6-2025	Site Plan Review – Spot on Pho and Boba Tea	Approved with conditions	6-0-1

FY2025-2026 Discussions:

1. Supported sale of Industrial Park lots to Dark Water Coffee.
2. Finalization of Industrial Park covenant revisions
3. Tiny home discussion and ordinance amendment recommendation to City Council (not accepted)
4. Ordinance text amendment to allow for 3 & 4 dwelling units in the A- 1 Residential District.
5. Adoption of a Food Truck Ordinance.
6. Interpretation of dog grooming/boarding in the B-2 District.
7. Review of expiration of Act 425 Agreement and Zoning impacts for parcels coming into the City.
8. Addition of M-1 Medical/Institutional District to Chapter 1259 (signs).
9. Rental Code Enforcement Discussions took place with the item being tabled until the City has more capacity to administer.

10. Opposition to House Bills affecting local zoning authority.
11. Adoption of Green Infrastructure Standards.
12. Moratorium on Data Centers.

FY 2026-2027 Goals:

1. Continuing work on Redevelopment Ready Community Initiatives.
2. Find funding to support a New Master Plan.
3. Get signatures from landowners in order to record the revised Industrial Park Covenants.
4. Continue regular review of all existing Ordinances and suggest updates as necessary.
5. Update City Charter
6. Continue working on rental housing code enforcement program implementation.
7. Industrial Park Water Tower Land ownership.
8. Explore annexation opportunities.
9. Data Center Ordinance language
 - A. Mullen motioned with the adjustments that were discussed, present 25/26 Annual draft Report to City Council and was supported by J. Cunningham
 - Ayes: 7 Nays: 0 Absent: 0

DISCUSSION ITEMS:

- Data Center Moratorium – Next Steps
Look into tiered structure for power usage, resource consumption, size, scope, and setting up some different categories in buckets that will require different levels of approvals, permitting and processes.
Define “Definition of a Data Center”. How to approach is a smaller one wants to come to the City.

OTHER BUSINESS and COMMUNICATION FROM COMMISSION MEMBERS:

- D. LaPorte, a week from Sunday, June 14th is the Airport fly in breakfast
- The Taco truck is looking to buy a lot to put food trucks on.
- Historic District Car show from 9-1, following the car show the cars will fall into the Asparagus parade
- Quilt show from 8-1 @ Council on Aging center.

PUBLIC COMMENTS GENERAL:

- NONE

ADJOURN:

- There being no further business to come before the Planning Commission, the meeting adjourned upon a motion by D. LaPorte and supported by J. Evans. The next meeting scheduled will be held on August 6th, 2026



Karla Swihart
City Clerk



CITY OF HART

407 State St
Hart, MI 49420
231-873-2488 (p)
231-873-0100 (f)
www.cityofhart.org

Special Land Use Application
Fee: \$300 in addition to any
applicable site plan fees

APPLICATION FOR SPECIAL LAND USE

APPLICANT INFORMATION

Name of Applicant: GREG LAUTZENHEISER (L+A ARCHITECTS)

Address: 441 S. LIVERNOIS, ROCHESTER HILLS, MI. 48307

Telephone: (248) 524-4700 E-mail: GLAUTZENHEISER@LAAARCHITECTSINC.COM

Are you the owner of record for the property of the requested special land use? YES ☒ NO

If you are NOT the owner of record for the property of the requested rezoning, please complete the below section PROPERTY OWNER INFORMATION.

PROPERTY OWNER INFORMATION

Name of Property Owner: GREAT LAKES TACO, LLC

Address: 8487 RETREAT DR., GRAND BLANC, MI. 48439

Telephone: (248) 506-4501 E-mail: BGRABOWSKI@PORTCHENTERPRISES.COM

LOCATION OF PROPERTY FOR WHICH THIS SPECIAL LAND USE IS REQUESTED

Property Address: 2306 N. COMFORT DR., HART, MI. 49420

Cross Streets: W. POLK RD. and HART MONTAGUE TRAIL

Parcel ID Number: 020-819-200-16 Lot Size (in acres): 1.91 ACRES

Lot Width: 175' Lot Depth: VARIES (477' +)

Present Zoning Classification: PUD/DDA

Requested Zoning Classification: N/A

Zoning District of Adjacent Properties to the: North _____ South _____ East _____ West _____

In the area provided or on a separate sheet, please give a detailed description of the proposed land use:

A FREE STANDING 1990 S.F. TACO BELL RESTAURANT
WITH INTERIOR SEATING & A DRIVE-THRU

In the area provided or on a separate sheet, explain how the requested Special Land Use meets the required standards as detailed in the City of Hart Code of Ordinances Chapter 1256

Specifically, how the requested Special Land Use:

- 1) Will be harmonious, and in accordance with the objectives, intent and purpose of this chapter:

THE PROPOSED TACO BELL RESTAURANT IS HARMONIOUS
AND APPROPRIATE IN APPEARANCE WITH THE EXISTING
CHARACTER OF THE AREA.

- 2) Will be compatible with a natural environment and existing and future land uses in the vicinity:

THE PROPOSED TACO BELL RESTAURANT WILL NOT RESULT
IN A DETRIMENTAL CHANGE TO THE ESSENTIAL
CHARACTER OF THE AREA.

- 3) Will be compatible with the city master plans:

THE PROPOSED TACO BELL RESTAURANT IS IN ACCORDANCE
WITH THE OBJECTIVES, INTENT AND PURPOSE OF CHAPTER 1256
OF THE CODE OF ORDINANCES AND IS COMPATIBLE WITH
THE CITY MASTER PLAN

- 4) Will be served adequately by essential public facilities and services, such as highways, streets, police and fire protection, drainage ways and structures, refuse disposal, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately for such services:

THE PROPOSED TACO BELL RESTAURANT IS ADEQUATELY
SERVED BY PUBLIC FACILITIES AND SERVICES.

- 5) Will not be detrimental, hazardous, or disturbing to existing or future neighboring uses, persons, property, or the public welfare:

THE PROPOSED TACO BELL RESTAURANT IS REMOVED FROM ESTABLISHED RESIDENTIAL NEIGHBORHOODS & WILL NOT BE DETRIMENTAL, HAZARDOUS, OR DISTURBING TO THE EXISTING NEIGHBORING USES.

- 6) Will not create additional requirements at public costs for public facilities and services that will be detrimental to the economic welfare of the community:

THE PROPOSED TACO BELL RESTAURANT WILL NOT CREATE ADDITIONAL REQ'TS AT PUBLIC COSTS FOR PUBLIC FACILITIES & SERVICES THAT WILL BE DETRIMENTAL TO THE ECONOMIC WELFARE OF THE COMMUNITY.

OTHER REQUIRED INFORMATION

- 1) The names and address of all record owners AND proof of ownership (i.e. a deed). Deeds can be obtained from Oceana County.
- 2) If applicant is not the owner of the property, the City requires a letter from the owner of record authorizing the applicant to make this application.
- 3) Legal description of property in question.
- 4) A scaled and accurate survey drawing correlated with a legal description showing all existing buildings, drives, and other improvements. Include 10 copies of a parcel map drawn at a scale of not less than 1" = 200' if the parcel is under three acres and 1" = 100' if the parcel is three acres or more.
- 5) A site plan, if requested by the Planning Commission. (Requirements are detailed in Chapter 1258).

GREG LAUTZENHEISER

PRINT Name of Applicant

SIGNATURE of Applicant

Date

7/16/2026

FOR OFFICE USE ONLY

Date Received: _____ Checked By: _____ Fee Collected: _____

CIVIL SITE PLAN SET
FOR

HART TACO BELL

VACANT LAND 2306 N. COMFORT DRIVE
CITY OF HART, MICHIGAN, 49420

NOTES:

CONTRACTOR ALERT – THIS PROJECT HAS BEEN DESIGNED USING THE LATEST CITY OF HART STANDARDS. REVIEW THE NOTES, DETAILS & DESIGN CAREFULLY PRIOR TO SUBMITTING A BID. FULL COMPLIANCE WITH THESE STANDARDS WILL BE REQUIRED.

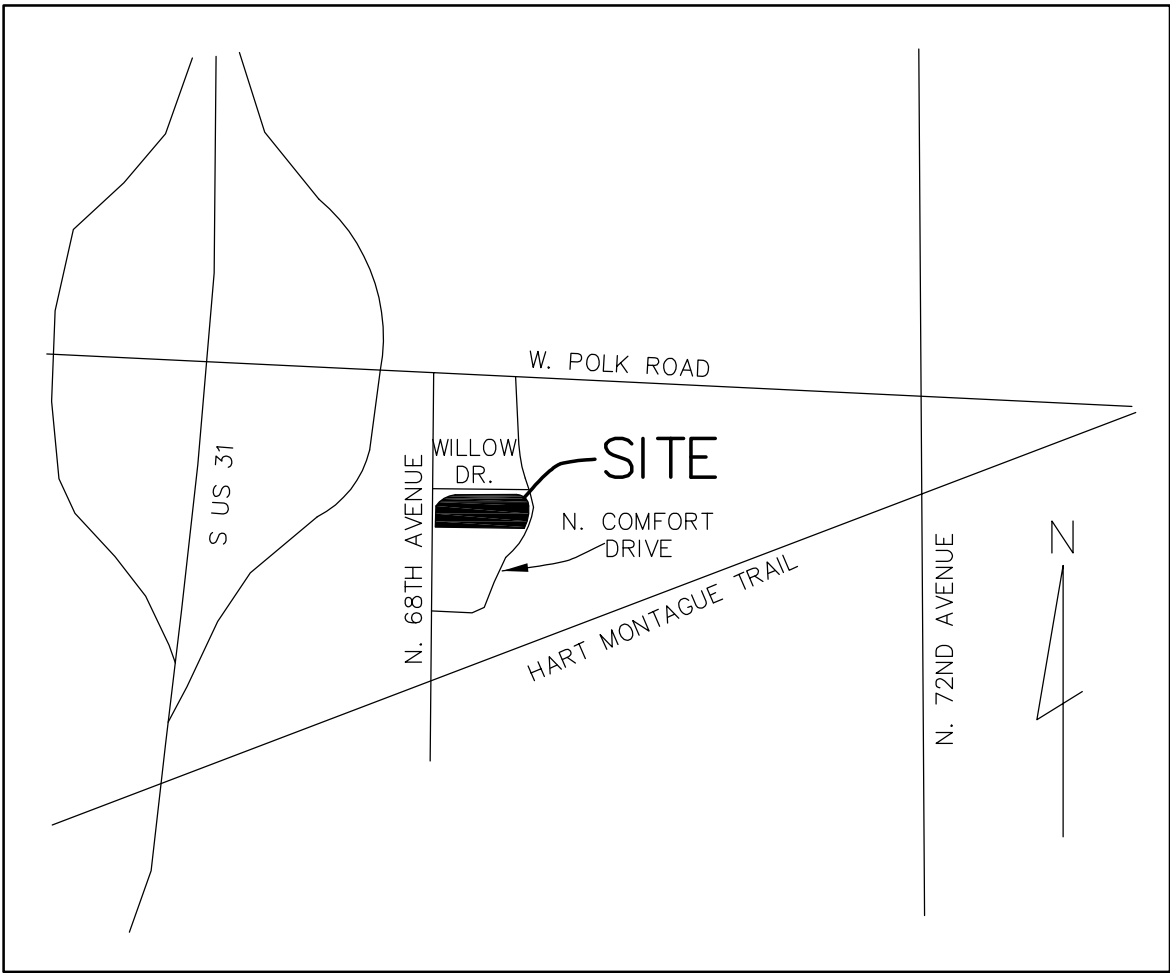
UTILITY WARNING – UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THESE PLANS WERE OBTAINED FROM UTILITY OWNERS, AND WERE NOT FIELD LOCATED. A MINIMUM OF 72 HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY "MISS DIG" (811) AND HAVE ALL UNDERGROUND UTILITIES STAKED BEFORE ANY WORK MAY BEGIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION. 72 HOURS BEFORE YOU DIG – CALL "MISS DIG" (811).

TOTAL DISTURBED AREA: 0.65± ACRE, NPDES STORM WATER PERMIT IS NOT REQUIRED.
THERE ARE NO PUBLIC UTILITIES PROPOSED TO BE CONSTRUCTED ON THIS PROJECT.

LEGAL DESCRIPTION:

LOCATED IN THE CITY OF HART, COUNTY OF OCEANA, STATE OF MICHIGAN THE LAND IS DESCRIBED AS FOLLOWS:

LOT 8 OF THE PLAT OF "COMFORT ESTATES", CITY OF HART, OCEANA COUNTY, MICHIGAN, ACCORDING TO THE RECORDED PLAT THEREOF.



LOCATION MAP

GENERAL SITE INFORMATION

PARCEL TAX ID NUMBER: 020-819-200-16
PROPERTY OWNER: K&C KLOTX PROPERTIES, LLC
PROPERTY ADDRESS: 2306 N. COMFORT DRIVE
PROJECT DEVELOPER: GREAT LAKES TACO, LLC
EXISTING SITE ZONING: PUD/DDA
EXISTING SITE USE: VACANT LAND
PROPOSED SITE USE: RESTAURANT WITH DRIVE-THRU
PROPERTY AREA: 1.91 ACRES

SHEET INDEX

- C0 COVER SHEET
- C1 EXISTING CONDITIONS
- C2 SITE PLAN
- C3 PAVING, GRADING & DRAINAGE PLAN
- C4 UTILITY PLAN
- C5 SOIL EROSION CONTROL PLAN
- C5b SOIL EROSION CONTROL DETAILS

SUBMITTAL CHART

AGENCY/OFFICE	CONTACT	ADDRESS	DATE SUBMITTED	DATE APPROVED
1 CITY OF HART	NICOLE KLEINER	407 STATE STREET, HART, MI 49420	7.9.26	*
2 OCEANA DRAIN COMMISSION	BRANDON McDOUGALL	100 S. STATE ST., SUITE L-12	7.9.26	*
			*	*
			*	*
			*	*

REVISIONS

1	7.9.26	ISSUED FOR SITE PLAN APPROVAL	MJW
NO.	DATE	DESCRIPTION	BY



PROPRIETOR:
GREAT LAKES TACO, LLC

8487 RETREAT DRIVE
GRAND BLANC, MI 48439
(810) 771-4500

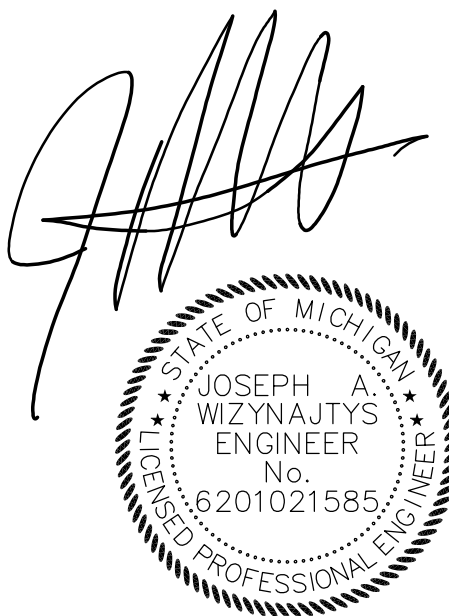


APPLICANT
L & A ARCHITECTS

441 S. LIVERNOIS, SUITE 265
ROCHESTER HILLS, MI 48307
(248) 524-4700

PLANS PREPARED BY:
REC ENGINEERS

169 VILLAGE COURT
ORTONVILLE, MICHIGAN 48462
(810) 845-5364



SURVEYORS NOTES:

1. CERTIFICATION IS MADE TO THE ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
2. SURVEY IS VALID ONLY IF PRINT HAS THE SEAL AND SIGNATURE OF THE SURVEYOR.
3. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORDED EASEMENTS, AD JOINERS, AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE SHOWN HEREON WAS GAINED FROM TITLE COMMITMENT FURNISHED BY THE TRANSNATION TITLE AGENCY, FILE NO: 26-08000157MBC, AS DESCRIBED IN THE LEGAL DESCRIPTION.
4. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
5. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, IN THE SURVEYOR'S OPINION, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED HEREIN.
6. THE FIELD WORK FOR THIS SURVEY WAS PERFORMED IN JUNE 2026.
7. PER TABLE A, ITEM NUMBER 1 - UNLESS ALREADY MONUMENTED, PROPERTY CORNERS SET WILL HAVE 1/2"x18" IRON BARS WITH ORANGE PLASTIC CAPS MARKED "A&A LAND SURVEYING INC, ALEX ALTMAYER, PS65158, 231-301-8147." ALL MONUMENTS (FOUND OR SET) ARE SHOWN HEREON.
8. PER TABLE A, ITEM NUMBER 2 - PROPERTY ADDRESSES SHOWN HEREON ARE FROM TITLE WORK PROVIDED BY TRANSNATION TITLE AGENCY, FILE NO: 26-08000157MBC.
9. PER TABLE A, ITEM NUMBER 3 - ACCORDING TO THE "FLOOD INSURANCE RATE MAP(S)" PUBLISHED BY FEMA MAP 26127C0150D THE PARCEL IS LOCATED IN ZONE X, WHICH IS DEFINED AS "AREA OF MINIMAL FLOOD HAZARD."
10. PER TABLE A, ITEM NUMBER 4 - GROSS LAND AREA IS 1.91 ACRES.
11. PER TABLE A, ITEM NUMBER 5 - SEE SURVEY FOR VERTICAL RELIEF.
12. PER TABLE A, ITEM NUMBER 6A - THIS PARCEL IS ZONED B-2, GENERAL BUSINESS DISTRICT, FRONT YARD SET BACK - 25 FEET FOR LOCAL SHEET AND 20 FEET ON ANY MAJOR CITY STREET OR STATE HIGHWAY, SIDE YARD AND REAR YARD - NONE REQUIRED EXCEPT WHERE A LOT ABUTS A RESIDENTIAL ZONE OR USE, A 10 FOOT SIDE AND REAR YARD SHALL BE PROVIDED. MAXIMUM BUILDING HEIGHT - 35 FEET. PARKING IS ONE PARKING SPACE FOR EACH FIVE SEATS.
13. PER TABLE A, ITEM NUMBER 7A - THE PARCEL DOES NOT HAVE BUILDINGS AT THE TIME SURVEYED.
14. PER TABLE A, ITEM NUMBER 8 - SUBSTANTIAL FEATURES OBSERVED ARE AS SHOWN.
15. PER TABLE A, ITEM NUMBER 11B - THE LOCATIONS OF ALL PUBLIC AND PRIVATE UTILITIES SERVING OR EXISTING ON THE PROPERTY AS EVIDENCE BY ON-SITE OBSERVATION ARE AS SHOWN. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVEGROUND STRUCTURES, MISS DIG AND THE LOCAL DPW. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE MAKING OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. BEFORE EXCAVATIONS BEGIN, MISS DIG SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
16. PER TABLE A, ITEM NUMBER 13 - NAMES OF ADJOINING PROPERTY OWNERS ARE AS SHOWN. INFORMATION WAS OBTAINED FROM OCEANA COUNTY GIS DATABASE.
17. PER TABLE A, ITEM NUMBER 16 - THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITION OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
18. PER TABLE A, ITEM NUMBER 18 - SEE SCHEDULE B PART II, LISTED BELOW.
19. PER TABLE A, ITEM NUMBER 21 - TOPOGRAPHY FROM CENTERLINE OF ROAD INTO PROPERTY AND EXTENDING 50 FEET OUTSIDE PROPERTY IN ALL DIRECTIONS, ARE AS SHOWN. RIMS AND INVERTS ON ALL STORM AND SANITARY SEWER STRUCTURES ARE AS SHOWN.

LEGAL DESCRIPTIONS PROVIDED BY TRANSNATION TITLE AGENCY:
26-08000157MBC

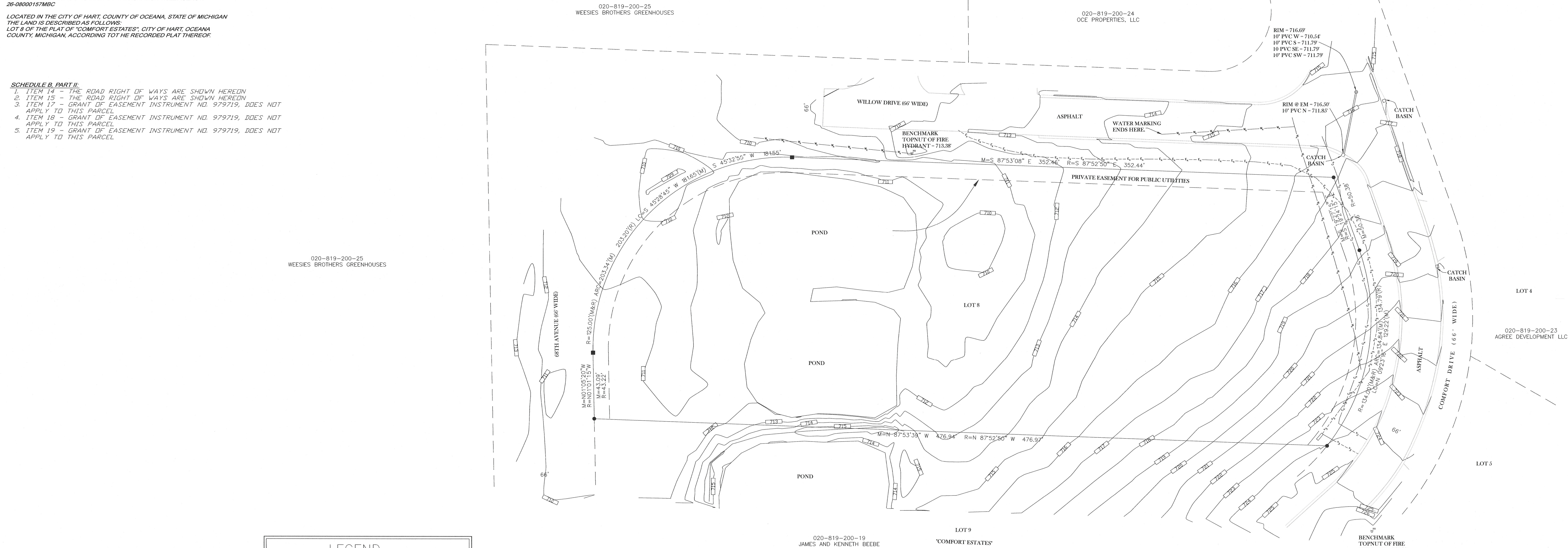
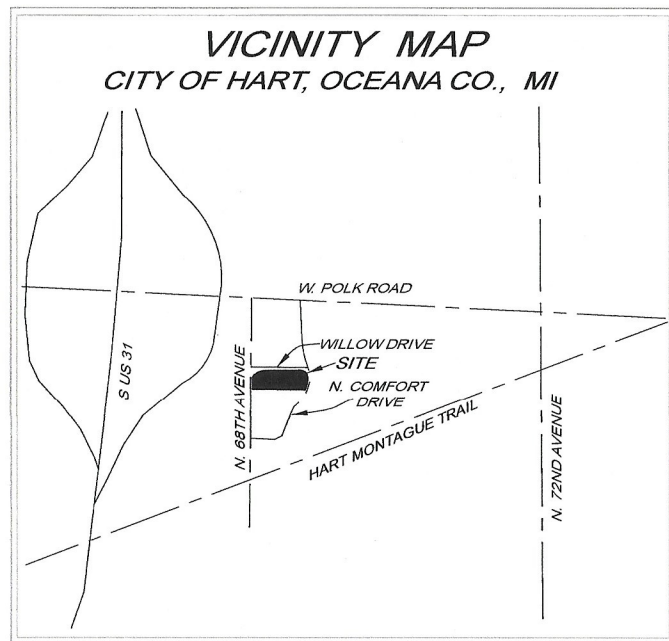
LOCATED IN THE CITY OF HART, COUNTY OF OCEANA, STATE OF MICHIGAN
THE LAND IS DESCRIBED AS FOLLOWS:
LOT 8 OF THE PLAT OF "COMFORT ESTATES", CITY OF HART, OCEANA COUNTY, MICHIGAN, ACCORDING TO THE RECORDED PLAT THEREOF.

SCHEDULE B, PART II:

1. ITEM 14 - THE ROAD RIGHT OF WAYS ARE SHOWN HEREON
2. ITEM 15 - THE ROAD RIGHT OF WAYS ARE SHOWN HEREON
3. ITEM 17 - GRANT OF EASEMENT INSTRUMENT NO. 979719, DOES NOT APPLY TO THIS PARCEL
4. ITEM 18 - GRANT OF EASEMENT INSTRUMENT NO. 979719, DOES NOT APPLY TO THIS PARCEL
5. ITEM 19 - GRANT OF EASEMENT INSTRUMENT NO. 979719, DOES NOT APPLY TO THIS PARCEL

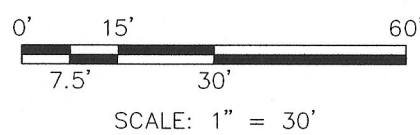
ALTA/NSPS LAND TITLE SURVEY

V/L N. COMFORT DRIVE
HART, MICHIGAN



LEGEND

- = FOUND CAPPED IRON #26457 (UNLESS OTHERWISE NOTED)
- = FOUND PLAT MONUMENT
- M = MEASURED DATA
- R = RECORDED DATA
- w- = WATER LINE
- c- = UNDERGROUND COMM. LINE
- e- = UNDERGROUND ELEC. LINE
- BEARING BASIS:
MSPC (SOUTH ZONE)
- VERTICAL BASIS:
NAVD 88.



SURVEYOR'S CERTIFICATION

TO: K&C KLOTZ PROPERTIES, LLC, TRANSNATION
TITLE AGENCY AND GREAT LAKES TACO

This is to certify that this map or plat and the survey on
which it is based were made in accordance with the
Minimum Standard Detail Requirements for ALTA/NSPS
Land Title Surveys, jointly established and adopted by
ALTA and NSPS, and includes items 1-8A, 7A, 8,
11B, 13, 16, 18 and 21 of Table 'A' thereof.

Date of Plat or Map: June 25, 2026

PRELIMINARY

ALEX ALTMAYER, PS
Professional Surveyor No. 65158



ALTA/NSPS LAND TITLE SURVEY FOR:

TRANSNATION TITLE AGENCY AND
GREAT LAKES TACO

JOB NO: 26144

SCALE: 1" = 30'

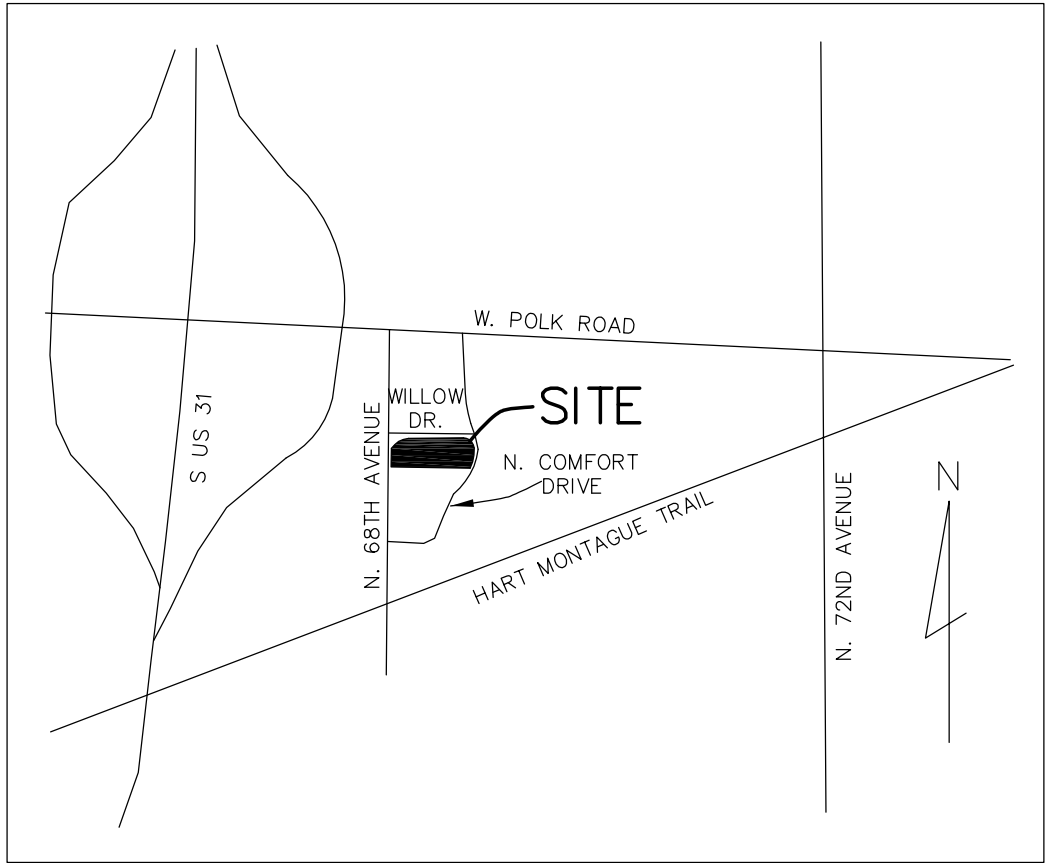
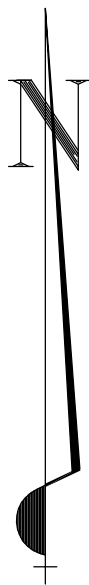
DATE: JUNE 25, 2026

DRAWN BY: BDK

PAGE: 1 OF 1

PRELIMINARY

ALEX S. ALTMAYER, PS 65158



LOCATION MAP

LEGAL DESCRIPTION:

LOCATED IN THE CITY OF HART, COUNTY OF OCEANA, STATE OF MICHIGAN
THE LAND IS DESCRIBED AS FOLLOWS:

LOT 8 OF THE PLAT OF "COMFORT ESTATES", CITY OF HART, OCEANA COUNTY,
MICHIGAN, ACCORDING TO THE RECORDED PLAT THEREOF.

SITE INFORMATION

PARCEL TAX ID NUMBER:	020-819-200-16
PROPERTY OWNER:	K&C KLOTX PROPERTIES, LLC
PROPERTY ADDRESS:	2306 N. COMFORT DRIVE
PROJECT DEVELOPER:	GREAT LAKES TACO, LLC
EXISTING SITE ZONING:	PUD/DDA
EXISTING SITE USE:	VACANT LAND
PROPOSED SITE USE:	RESTAURANT WITH DRIVE-THRU
PROPERTY AREA:	1.91 ACRES
ROAD FRONTAGE:	185.20'
PROPOSED GROSS BUILDING AREA:	1,990 S.F.
FRONT (EAST) BUILDING SETBACK:	25'
SIDE (NORTH) BUILDING SETBACK:	83.5'
SIDE (SOUTH) BUILDING SETBACK:	60.4'
REAR (WEST) BUILDING SETBACK:	401'
PROPOSED DRIVE-THRU STACK:	10 CARS
PROPOSED PARKING SPACES:	23 TOTAL SPACES PROVIDED, INC. 1 BARRIER FREE

PROJECT NOTES:

THIS PROJECT IS THE DEVELOPMENT OF A VACANT PARCEL OF LAND TO A TACO BELL RESTAURANT WITH A DRIVE THRU. THE HOURS OF OPERATION WILL BE FROM 7:00AM TO 12:00AM, SEVEN DAYS A WEEK.

THE PROPERTY IS A 1.91 ACRE PARCEL OF LAND LOCATED ON THE SOUTH WEST CORNER OF COMFORT DRIVE AND WILLOW DRIVE. THE EAST HALF OF THE PROPERTY SLOPES SIGNIFICANTLY FROM THE SOUTH EAST CORNER TO THE NORTH WEST. THE MAIN NATURAL FEATURE ON IT IS A POND ON THE WEST 1/3 OF THE SITE. THE PROPOSED STORM WATER RUNOFF WILL BE DIRECTED TO THE EXISTING POND. THERE MAY BE REGULATED WETLANDS ON THIS PROPERTY THAT INCLUDE THE POND AND LAND WEST OF THE POND, PER THE NATIONAL WETLANDS INVENTORY MAP. THIS DEVELOPMENT HOWEVER WILL BE SIGNIFICANTLY EAST OF AND UPHILL OF THOSE WETLANDS.

PER FEMA FLOOD RATE MAP NUMBER 26127C01500, EFFECTIVE DATE 8/24/2021 THIS SITE IS LOCATED WITHIN FLOOD ZONE X AN AREA OF MINIMAL FLOOD HAZARD.

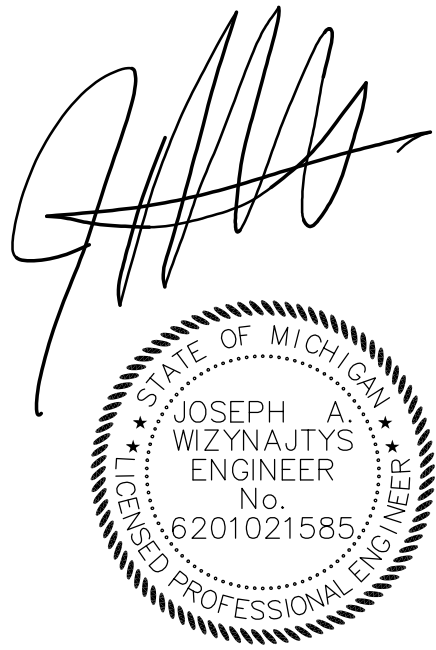
THE BUILDING WILL BE CONNECTED TO THE EXISTING MUNICIPAL SEWER AND WATER SYSTEMS ALONG N. COMFORT DRIVE AND WILLOW DRIVE.

THE DEVELOPMENT OF THIS SITE WILL NOT ADVERSELY IMPACT ANY NATURAL RESOURCES IN THIS AREA.

THERE WILL BE NO NOISE, SMOKE, DIRT, ASH, OPEN FIRES, NOXIOUS GASES, VIBRATIONS, ODORS, GLARE OR RADIOACTIVE MATERIALS PRODUCED BY THIS PROPOSED RESTAURANT. NOR WILL THERE BE ANY OPEN STORAGE OF ANY KIND.

AN "AutoTURN SIMULATION" HAS BEEN PERFORMED ON THIS SITE PLAN. A WB-40 SEMI TRUCK AND TRAILER CAN ENTER UPON AND EXIT THE SITE WITHOUT THE NEED TO BACK UP AT ANY POINT.

THIS PROJECT SHALL COMPLY WITH ANY AND ALL LOCAL, COUNTY, STATE AND FEDERAL REQUIREMENTS AND SHALL OBTAIN ANY PERMITS REQUIRED BY THE SAME.

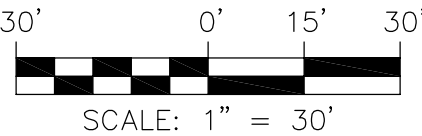


JOB NO. TB HART

CIVIL ENGINEERING SITE PLAN
FOR
HART TACO BELL

C2

LEGEND	
•	PROPERTY CORNER
+	ROAD SIGNS
—	UTILITY POLE
—	OVERHEAD WIRES
—	SEWER LEAD
—	SANITARY SEWER MAIN
—	SEWER LEAD
—	WATER MAIN
—	WATER LEAD
—	GAS MAIN
—	GAS LEAD
—	ELECTRICITY LEAD
—	STORM DRAIN LINE
—	TELCO LINE
—	FIBER OPTIC LINE
□	CATCH BASIN
—	BUILDING
—	CONCRETE
—	ASPHALT
—	ELECTRIC
—	EXISTING
—	RIGHT-OF-WAY
—	CLEAN OUT



SCALE: 1" = 30'

No.	REVISIONS	DATE	BY
1	ISSUED FOR SITE PLAN APPROVAL	7.9.26	MJW



SCALE: 1" = 30'	DATE: 7.9.26
DESIGNED BY: MJW	DRAWN BY: MJW
CHECKED BY: JAW	FIELD CREW CHIEF: N/A

DEVELOPER
GREAT LAKES TACO, LLC
8487 RETREAT DRIVE
GRAND BLANC, MI 48439
(810) 771-4500

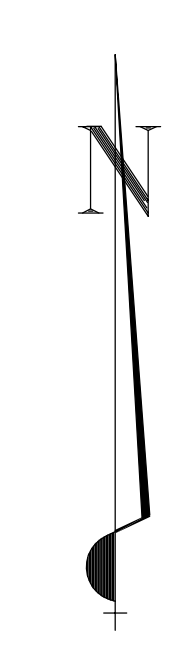


REC ENGINEERS
REAL ESTATE CONSULTING ENGINEERS, LLC
169 VILLAGE COURT, ORTONVILLE, MICHIGAN 48462
PH: (810) 845-5364 EMAIL: MWIZ64@GMAIL.COM

CITY OF HART

OCEANA COUNTY

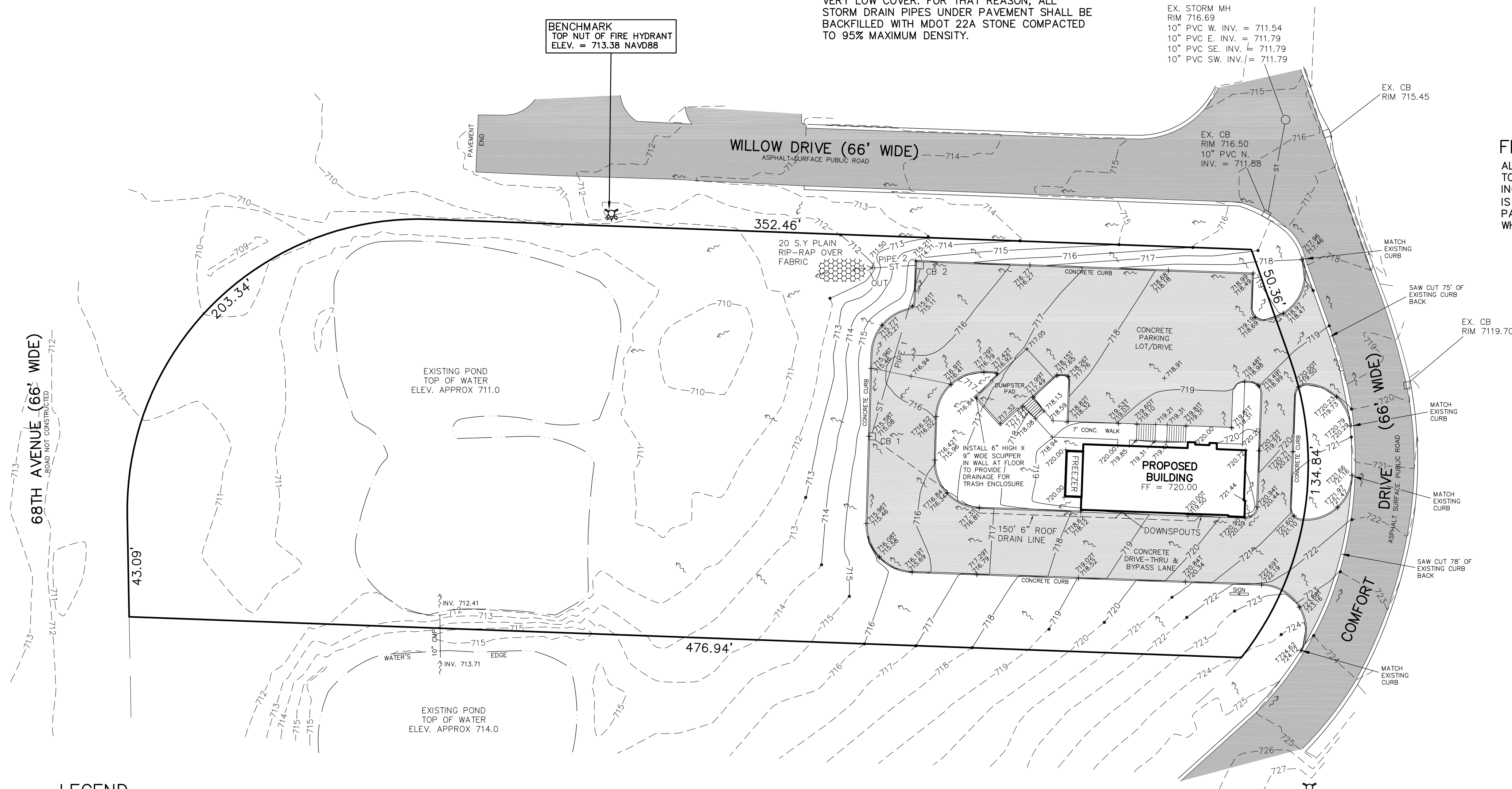
MICHIGAN



HART TACO BELL
STORM SEWER DESIGN COMPUTATIONS

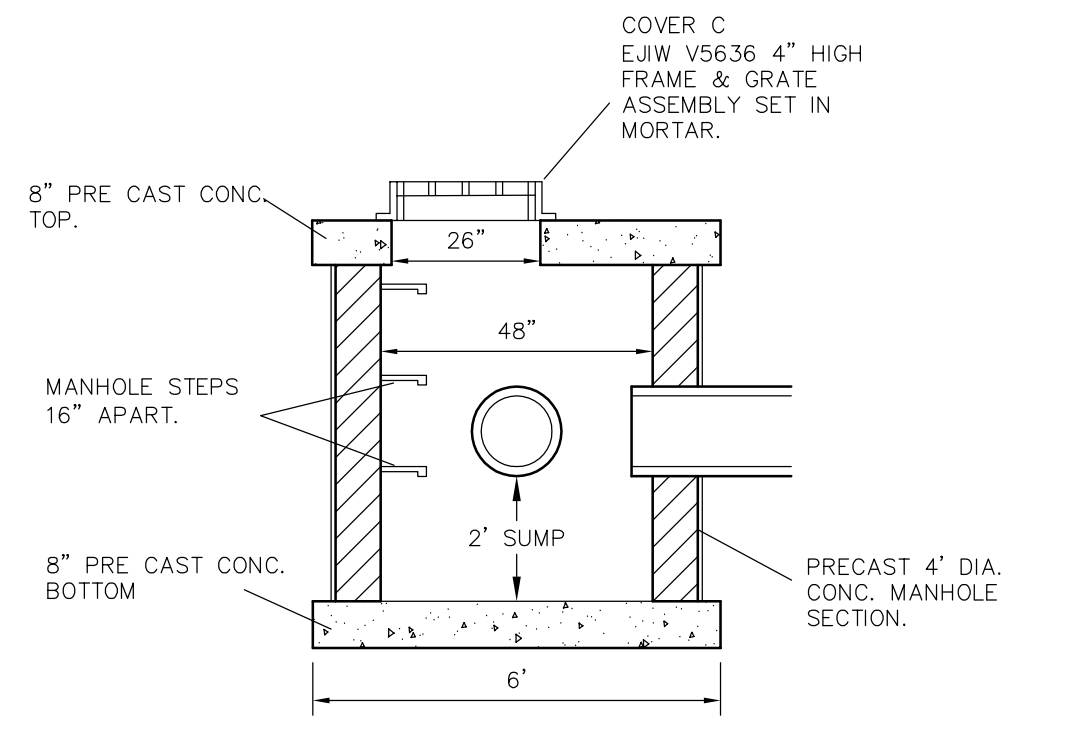
FROM	TO	DRAIN AREA	ACRES A	AREA IMPERV 0.9	AREA PERV 0.2	RUNOFF COEFF C	EQUIV. AREA A * C	INTEN-SITY I	TIME OF CONC. T _c	ADD'L RUNOFF Q	RUNOFF (CFS) Q	PIPE LENGTH (LF)	PIPE DIA. (IN)	VELOCITY FLOWING FULL (FPS)	HYDRAULIC GRADIENT SLOPE %	ACTUAL SLOPE USED	MANNING FLOW CAPACITY	MANNING VELOCITY (FT/SEC)	TIME (MIN)	HG ELEV UPPER END	HG ELEV LOWER END	RIM ELEV UPPER END	INVERT UPPER END	INVERT LOWER END
CB 1	CB 2	CB 1	0.49	0.24	0.25	0.54	0.266	4.38	15.00		1.16	176	12	1.48	0.11%	0.32%	2.02	2.57	1.14	713.26	712.70	715.08	712.46	711.90
CB 2	OUT	CB 2	0.30	0.26	0.04	0.81	0.242	4.25	16.14		2.19	100	12	2.79	0.38%	0.40%	2.26	2.88	0.58	712.70	712.30	714.71	711.90	711.50

STORM DRAIN BACKFILL NOTE:
THE STORM DRAIN PIPES ON THIS PROJECT HAVE VERY LOW COVER. FOR THAT REASON, ALL STORM DRAIN PIPES UNDER PAVEMENT SHALL BE BACKFILLED WITH MDOT 22A STONE COMPACTED TO 95% MAXIMUM DENSITY.



LEGEND

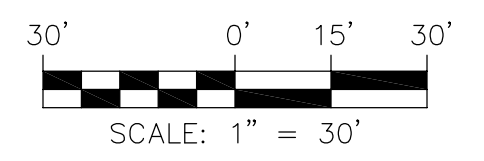
- CATCH BASIN
- BLDG. BUILDING
- CONC. CONCRETE
- ASPH. ASPHALT
- ELEC. ELECTRIC
- EX. EXISTING
- R.O.W. RIGHT-OF-WAY
- ST. STORM DRAIN PIPE
- PROPOSED SPOT GRADE
- PROPOSED SPOT GRADE TOP OF CURB
- DRAINAGE FLOW ARROW
- EXISTING CONTOUR
- PROPOSED CONTOUR
- DRAINAGE AREA LIMITS
- EXIST. ASPHALT PAVEMENT
- PROP. CONCRETE PAVEMENT



"LOW COVER" CATCH BASIN (CB) DETAIL
NTS

FLOODPLAIN INFO

CITY OF HART
OCEANA COUNTY, MICHIGAN
MAP NUMBER: 26127C0150D
EFFECTIVE DATE: 08/24/2021
FLOOD ZONE: X
AREAS OF MINIMAL FLOOD HAZARD



SCALE: 1" = 30'

STRUCTURE TABLE

CB 1	4" DIA. STRUCTURE COVER TYPE C	
RIM =	715.08	
INV.	12 " N. =	712.46
2' SUMP		

CB 2	4" DIA. STRUCTURE COVER TYPE C	
RIM =	714.71	
INV.	12 " S. =	711.90
INV.	12 " W. =	711.90
2' SUMP		

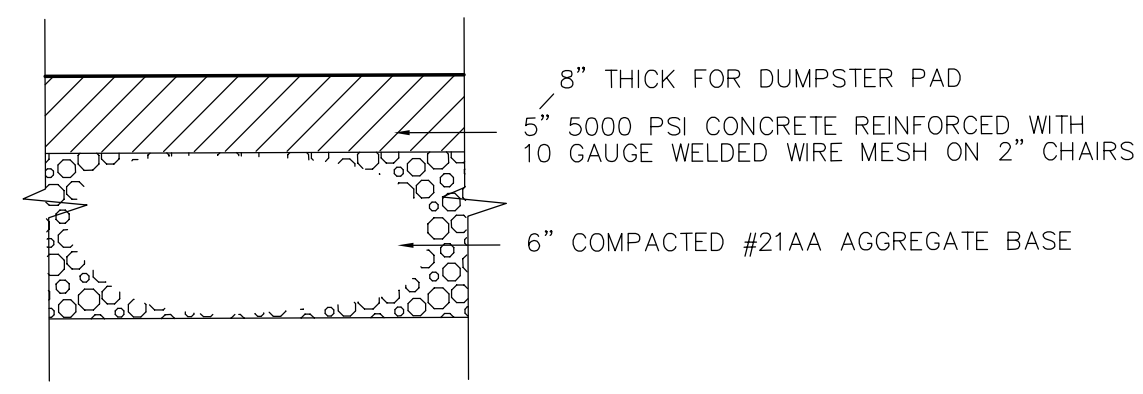
OUT	FLARED END SECTION	
INV.	12 " W. =	711.50

PIPE TABLE

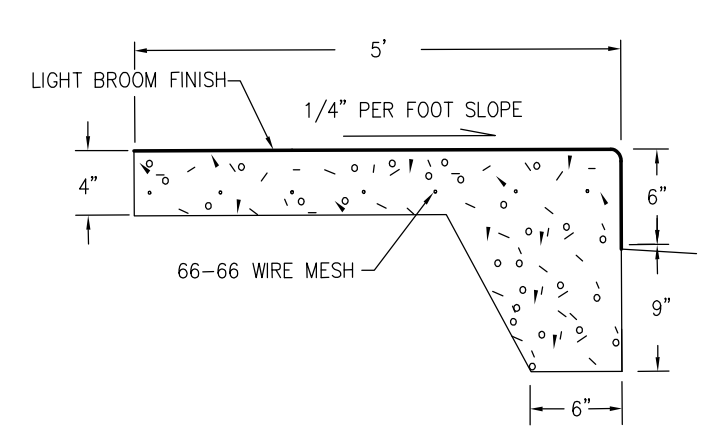
PIPE	LENGTH FEET	SIZE INCH	SLOPE %	TYPE
1	176	12	0.32%	N-12
2	100	12	0.40%	N-12

FILL NOTE:

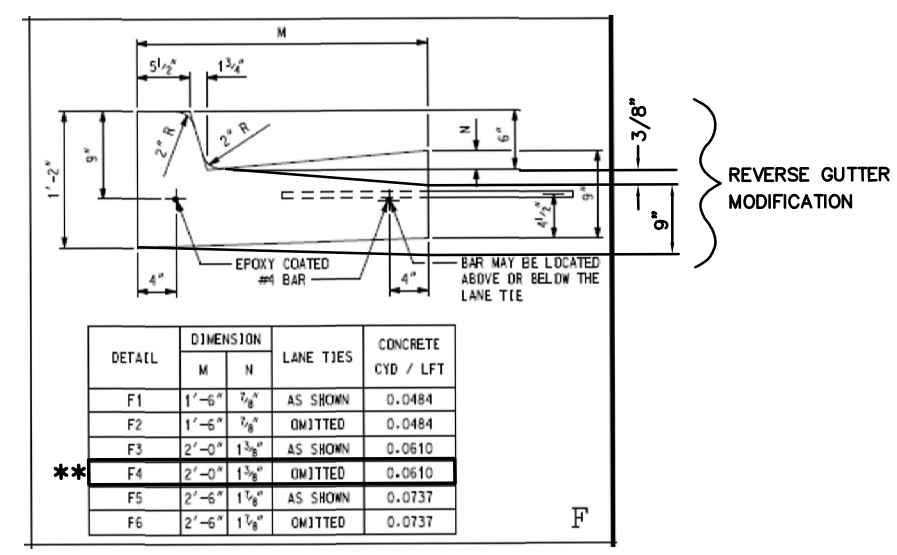
ALL FILL PLACED UNDER PROPOSED PAVEMENT TO BE MDOT CLASS 2 SAND COMPACTED IN 2 INCH LIFTS TO 95% MAXIMUM DENSITY. THIS FILL IS TO EXTEND 2' PAST THE EDGE OF THE PAVEMENT OR TO THE 1 ON 1 INFLUENCE LINE, WHICHEVER IS GREATER.



CONC. PARKING LOT PAVEMENT X-SECTION
NTS



SIDEWALK SECTION DETAIL
NTS



MDOT CONCRETE CURB DETAIL F
NTS

STORM WATER NARRATIVE:

THE EXISTING SITE DRAINS TO AN EXISTING POND ON THE WEST SIDE OF THE LOT. THIS POND IS PART OF THE STORM WATER MANAGEMENT SYSTEM THAT WAS CONSTRUCTED FOR THE PLAT OF COMFORT ESTATES.

THE PROPOSED STORM WATER RUNOFF WILL BE DIRECTED TO THE EXISTING POND, THERE WILL BE TWO CATCH BASINS THAT COLLECT THE RUN-OFF AND WILL DIRECT IS TO AN AREA OF RIP-RAP WHICH WILL THEM FLOW OVERLAND FOR APPROXIMATELY 80 FEET TO THE POND. THIS WATER THEN WILL FLOW TO THE DETENTION BASIN THAT WAS CONSTRUCTED FOR THE PLAT OF COMFORT ESTATES.

[Signature]

STATE OF MICHIGAN
JOSEPH A. WIZYNAJTY
ENGINEER
No. 6201021585
LICENSED PROFESSIONAL ENGINEER

JOB NO. TB HART

SCALE: 1" = 30'

No.	REVISIONS	DATE	BY
1	ISSUED FOR SITE PLAN APPROVAL	7.9.26	MJW

SCALE: 1" = 30'

DATE: 7.9.26

DESIGNED BY: MJW

CHECKED BY: JAW

DEVELOPER
GREAT LAKES TACO, LLC

8487 RETREAT DRIVE
GRAND BLANC, MI 48439
(810) 771-4500

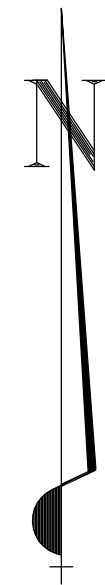
REC ENGINEERS
REAL ESTATE CONSULTING ENGINEERS, LLC

169 VILLAGE COURT, ORTONVILLE, MICHIGAN 48462
PH: (810) 845-5364 EMAIL: MWI264@GMAIL.COM

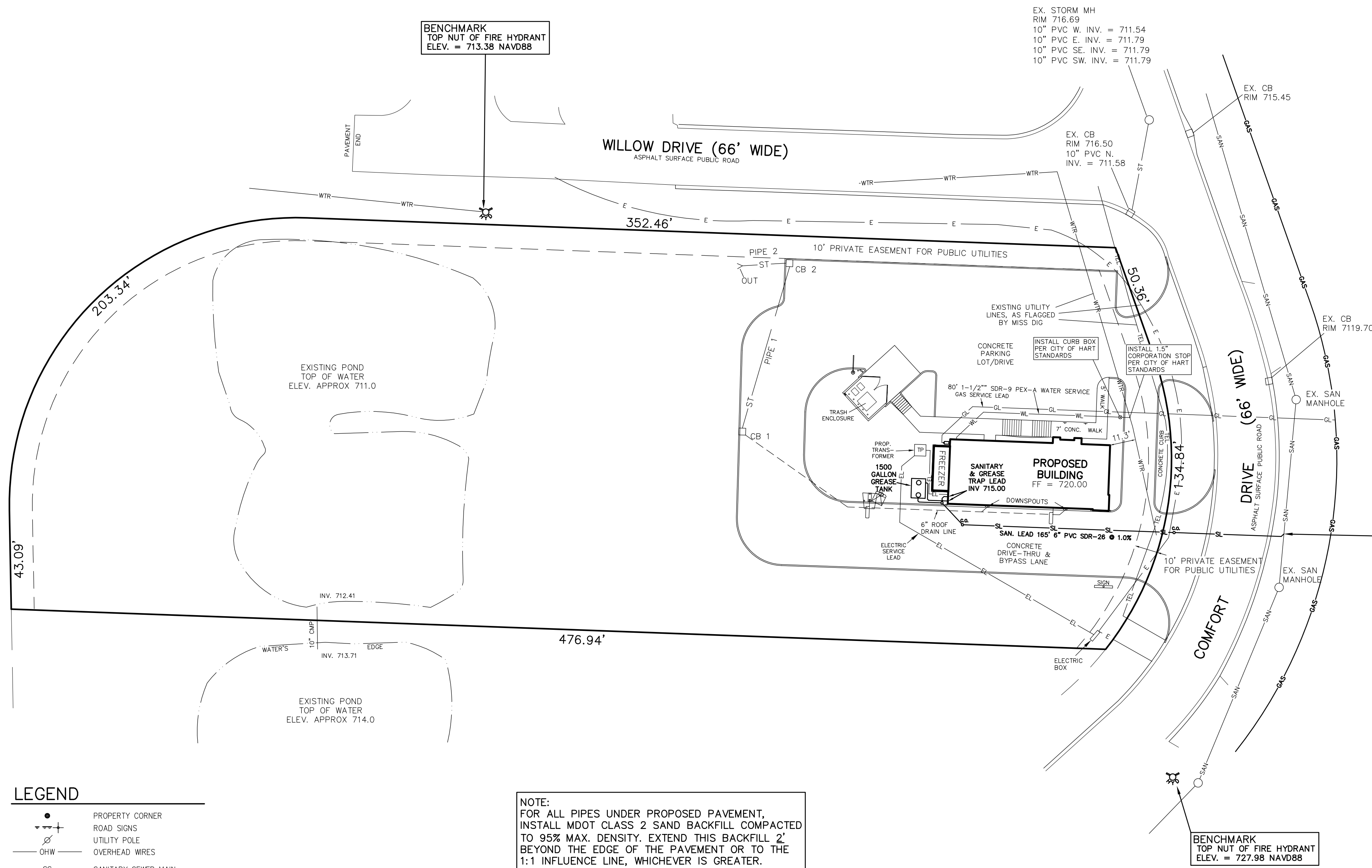
PAVING, GRADING & DRAINAGE PLAN
FOR
HART TACO BELL

CITY OF HART OCEANA COUNTY MICHIGAN

C3



68TH AVENUE (66' WIDE)
ROAD NOT CONSTRUCTED



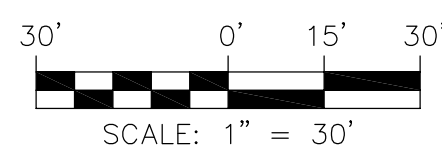
LEGEND

- PROPERTY CORNER
- ROAD SIGNS
- UTILITY POLE
- OVERHEAD WIRES
- SS SANITARY SEWER MAIN
- SL SEWER LEAD
- WTR WATER MAIN
- WL WATER LEAD
- GAS GAS MAIN
- GL GAS LEAD
- EL ELECTRICITY LEAD
- ST STORM DRAIN LINE
- T TELCOM LINE
- FIBER FIBER OPTIC LINE
- CATCH BASIN
- BLDG. BUILDING
- CONC. CONCRETE
- ASPH. ASPHALT
- ELEC. ELECTRIC
- EX EXISTING
- R.O.W. RIGHT-OF-WAY
- C.O. CLEAN OUT

NOTE:
FOR ALL PIPES UNDER PROPOSED PAVEMENT,
INSTALL MDOT CLASS 2 SAND BACKFILL COMPACTED
TO 95% MAX. DENSITY. EXTEND THIS BACKFILL 2'
BEYOND THE EDGE OF THE PAVEMENT OR TO THE
1:1 INFLUENCE LINE, WHICHEVER IS GREATER.

SANITARY LEAD NOTE:
THE CONTRACTOR SHALL MAINTAIN THE MINIMUM PIPE
COVER SPECIFIED ON THESE PLANS FOR ALL
SANITARY SEWER PIPE OUTSIDE THE WALLS OF THE
PROPOSED BUILDING.

[Signature]
STATE OF MICHIGAN
JOSEPH WIZYNAJTY'S
ENGINEER
No. 6201021585
LICENSED PROFESSIONAL ENGINEER



NOTE: ALL WORK WITHIN THE N.
COMFORT DRIVE. RIGHT-OF-WAY WILL
REQUIRE A PERMIT FROM THE CITY
OF HART.

CONNECTION OF SAN LEAD TO EXISTING
SEWER MAIN. INVERT AT MAIN IS
UNKNOWN AT THIS TIME. INVERT AT THE
END OF THE 6" LEAD WILL BE 713.90.
CONSTRUCT RISER AS NECESSARY PER
CITY OF HART STANDARDS.

THE EXACT LOCATION OF THE
EXISTING SANITARY SEWER MAIN IS
IN QUESTION. THE CONTRACTOR SHALL
LOCATE THE LINE AND REPORT BACK
TO THE ENGINEER PRIOR TO THE
START OF CONSTRUCTION.

UTILITY CONTACTS

WATER/SEWER

CITY OF HART DEPARTMENT
OF PUBLIC WORKS
1010 STATE STREET
HART, MI 49420
(231) 873-3100

GAS

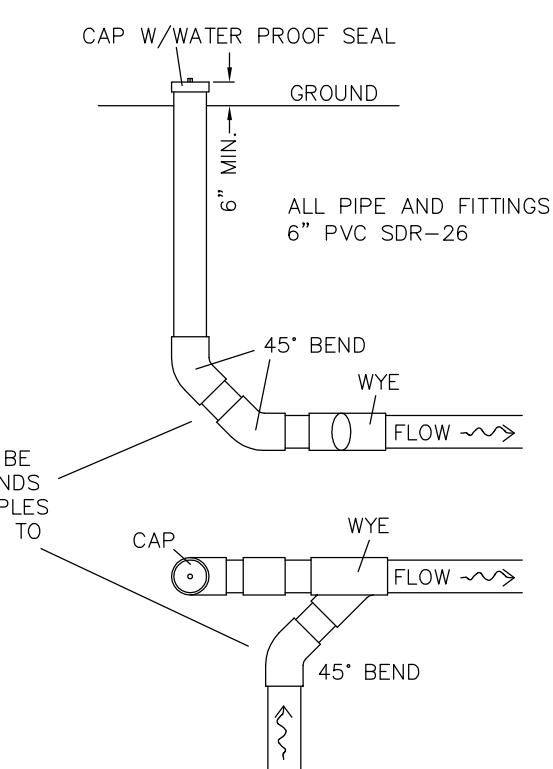
DTE
(800) 338-0178

ELECTRIC

HART ENERGY DEPARTMENT
3907 OCEANA DRIVE
HART, MI 49420
(231) 873-5367

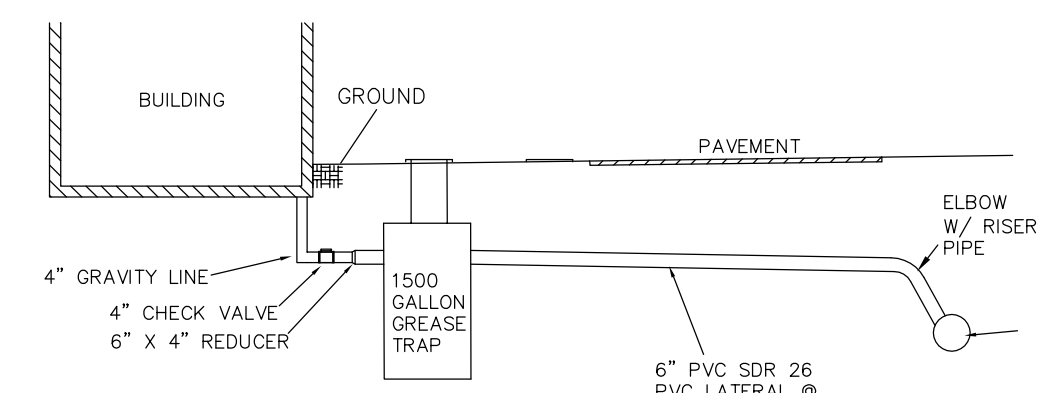
TELEPHONE

CHARTER COMMUNICATIONS
(855) 889-3791



SANITARY LEAD CLEANOUT (C.O.) DETAIL

NOT TO SCALE



SANITARY LEAD SCHEMATIC

NOT TO SCALE

SCALE: 1" = 30'

No.	REVISIONS	DATE	BY
1	ISSUED FOR SITE PLAN APPROVAL	7.9.26	MJW



SCALE: 1" = 30'	DATE: 7.9.26
DESIGNED BY: MJW	DRAWN BY: MJW
CHECKED BY: JAW	FIELD CREW CHIEF N/A

DEVELOPER
GREAT LAKES TACO, LLC
8487 RETREAT DRIVE
GRAND BLANC, MI 48439
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CITY OF HART

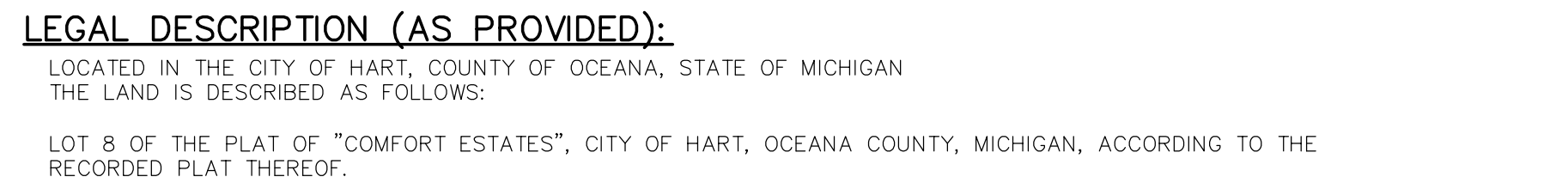
UTILITY PLAN
FOR
HART TACO BELL

OCEANA COUNTY

MICHIGAN

JOB NO. TB HART

C4



1. SOIL EROSION: THE CONTRACTOR SHALL SUBMIT A DETAILED SOIL EROSION AND SEDIMENTATION CONTROL PLAN AND OBTAIN AN ACT 451 PART 91, SOIL EROSION AND SEDIMENTATION CONTROL PERMIT. THIS INCLUDES THE PAYMENT OF FEES AND THE PROVIDING OF NECESSARY BONDS. NO EARTH CHANGES OR EXCAVATION SHALL BE STARTED PRIOR TO THE ISSUANCE OF THIS PERMIT. THE CONTRACTOR SHALL PROTECT ALL EXISTING AND PROPOSED STORM SEWER FACILITIES ON AND ADJACENT TO THE SITE DURING EXCAVATION AND CONSTRUCTION. ALL SEDIMENT SHALL BE CONTAINED ON THE SITE. ANY SILT IN ANY PUBLIC DRAINS, STORM SEWER, CULVERTS, ETC., AS A RESULT OF THIS PROJECT, SHALL BE REMOVED BY THE CONTRACTOR AT THE COST OF THE CONTRACTOR.
2. ALL SOIL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO ALL OF THE APPLICABLE REQUIREMENTS OF THE CITY OF HART AND/OR OCEANA COUNTY. THE CONTRACTOR SHALL OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT OR WAIVER FROM THE CITY OF HART AND/OR OCEANA COUNTY PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS.
3. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
4. CONTRACTOR SHALL PLACE AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY THE CITY OF HART AND/OR OCEANA COUNTY AS SHOWN ON THE PLANS. CONTRACTOR SHALL REMOVE TEMPORARY MEASURES AS SOON AS ALL PERMANENT EROSION CONTROL MEASURES HAVE BEEN COMPLETED AND APPROVED BY THE CITY OF HART AND/OR OCEANA COUNTY.
5. EROSION AND ANY SEDIMENT CREATED FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN ANY DRAINAGE FACILITIES. DRAINAGE FACILITIES INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
6. ALL MUD, DIRT AND DEBRIS TRACKED ONTO EXISTING ROADS FROM THE SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR. ALL MUD, DIRT AND DEBRIS TRACKED OR SPILLED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
7. CONTRACTOR MUST IMPLEMENT APPROPRIATE MEASURES AS REQUIRED TO CONTROL DUST AT ALL TIMES, AS APPROVED BY CITY OF HART AND/OR OCEANA COUNTY.
8. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.

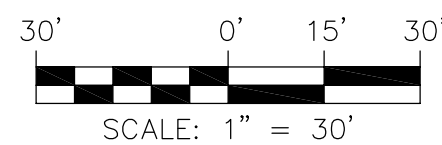
1. FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING ANY PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USEABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AS REQUIRED SUCH THAT THE MEASURES ARE EFFECTIVE AND IN PROPER WORKING ORDER AT ALL TIMES.
4. ALL MUD/DIRT TRACKED ONTO ROADS OR ANY PARKING LOT FROM THE SITE DUE TO CONSTRUCTION, SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
5. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, BOTH PERMANENT AND TEMPORARY, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

1. PLACE ALL TEMPORARY SOIL EROSION CONTROL MEASURES AS PER THESE PLANS.
2. DO ALL SITE ROUGH GRADING.
3. CONSTRUCT ALL STORM DRAIN AND DETENTION SYSTEM
4. CONSTRUCT THE BUILDINGS.
5. PAVE THE DRIVING/PARKING SURFACES.
6. PLACE TOPSOIL, FERTILIZER, SEED AND MULCH TO RESTORE ALL DISTURBED AREAS.
7. REMOVE ALL TEMPORARY SOIL EROSION CONTROL MEASURES AFTER ALL SITE CONSTRUCTION HAS BEEN COMPLETED AND ALL NEW TURF AREAS HAVE BEEN FULLY ESTABLISHED.
8. CONTRACTOR SHALL KEEP THE STREET AND ALL OTHER PAVEMENT CLEAN AT ALL TIMES AND TAKE MEASURES TO PREVENT DUST POLLUTION.

	PROPERTY CORNER
	ROAD SIGNS
	CATCH BASIN
	BUILDING
	CONCRETE
	ASPHALT
	ELECTRIC
	EXISTING
	RIGHT-OF-WAY
	EXISTING SPOT GRADE
	PROPOSED SPOT GRADE
	SILT FENCE
	SESC MEASURE KEY
	DISTURBED AREA (0.65± ACRES)

1	DUST CONTROL —NO DETAIL—	DUST CONTROL APPLICATIONS CAN INCLUDE WATERING, CHEMICAL DUST SUPPRESSION, GRAVEL OR ASPHALT SURFACING, TEMPORARY AGGREGATE COVER AND TRAIL TRUCK COVER.
6	SEEDING WITH MULCH AND/OR WATERING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER EFFECTIVE FOR GRASSHARMS WITH LOW VELOCITY EASILY PLACED IN SMALL QUANTITIES BY EXPERIENCED PERSONNEL SHOULD INCLUDE PREPARED SPECIFICATIONS
13	RIPPRAP, RUBBLE, COBBLES	USE WHERE VEGETATION IS NOT EASILY ESTABLISHED EFFECTIVE FOR HIGH VELOCITIES AND HIGH CONCENTRATIONS PERMITS RUNOFF TO INFLUENCE VELOCITY DISGAGES ENERGY FLOW AT SYSTEM OUTLETS
24	GRASSED WATERWAY	MUCH MORE STABLE FORM OF DRAINAGE WAY THAN BARE CHANNEL EFFECTIVE FOR LOW VELOCITIES AND LOW SEDIMENT USE WHERE BARE CHANNEL WOULD BE ERODED
54	GEOTEXTILE SILT FENCE	USES GEOTEXTILE AND POSTS OR POLES MAY BE CONSTRUCTED OR PRECONSTRUCTED EASIER TO CONSTRUCT AND LOCATE AS NECESSARY
60	TEMPORARY CONSTRUCTION ENTRANCE	ASSISTS IN REMOVING SOIL FROM THE FIBES OF CONSTRUCTION EQUIPMENT / VEHICLES WHEN EXITING THE CONSTRUCTION SITE THIS REDUCES TRUCKING EXCESSIVE SEDIMENT TO SLOPES ONTO THE ADJACENT ROAD.

NOTE: SEE SESC DETAILS ON SHEET C5b

[illegible]




JOB NO. TB HART

SCALE: 1" = 30'	No.	REVISIONS	DATE	BY	 Know what's below. Call before you dig.	SCALE:	DATE:	DEVELOPER GREAT LAKES TACO, LLC 8487 RETREAT DRIVE GRAND BLANC, MI 48439 (810) 771-4500		REC ENGINEERS REAL ESTATE CONSULTING ENGINEERS, LLC 169 VILLAGE COURT, ORTONVILLE, MICHIGAN 48462 PH: (810) 845-5364 EMAIL: MWZ64@GMAIL.COM	SOIL EROSION & SEDIMENT CONTROL PLAN FOR HART TACO BELL			C5		
	1	ISSUED FOR SITE PLAN APPROVAL	7.9.26	MJW		1" = 30'	7.9.26				DESIGNED BY:	DRAWN BY:	CITY OF HART			
						MJW	MJW				OCEANA COUNTY					
						CHECKED BY:	FIELD CREW CHIEF				MICHIGAN					
						JAW	N/A									



Oceana County, Michigan

48A—Saugatuck-Jebavy complex, 0 to 3 percent slopes

Map Unit Setting

National map unit symbol: 6bq8
Elevation: 300 to 1,000 feet
Mean annual precipitation: 27 to 40 inches
Mean annual air temperature: 45 to 52 degrees F
Frost-free period: 120 to 170 days
Farmland classification: Not prime farmland

Map Unit Composition

Saugatuck and similar soils: 50 percent
Jebavy and similar soils: 42 percent
Minor components: 8 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Saugatuck

Setting

Landform: Outwash plains, Lake plains
Landform position (three-dimensional): Rise
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Sandy glaciofluvial deposits cemented with ortstein

Typical profile

H1 - 0 to 3 inches: fine sand
H2 - 3 to 7 inches: fine sand
H3 - 7 to 29 inches: fine sand
H4 - 29 to 60 inches: fine sand

Properties and qualities

Slope: 0 to 3 percent
Depth to restrictive feature: 10 to 16 inches to ortstein
Drainage class: Somewhat poorly drained
Runoff class: Negligible
Capacity of the most limiting layer to transmit water (Ksat): High to very high (5.95 to 19.98 in/hr)
Depth to water table: About 6 to 24 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply: 0 to 60 inches: Very low (about 0.9 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 4w
Hydrologic Soil Group: A/D
Ecological site: F096XB021MI - Acidic Sandy Depression
Hydric soil rating: No

Description of Jebavy

Setting

Landform: Depressions on lake plains, Depressions on outwash plains
Landform position (three-dimensional): Taf
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Cemented with ortstein sandy glaciofluvial deposits

Typical profile

H1 - 0 to 4 inches: fine sand
H2 - 4 to 12 inches: fine sand
H3 - 12 to 16 inches: fine sand
H4 - 16 to 36 inches: fine sand
H5 - 36 to 60 inches: sand

Properties and qualities

Slope: 0 to 2 percent
Depth to restrictive feature: 10 to 25 inches to ortstein
Drainage class: Poorly drained
Runoff class: Low
Capacity of the most limiting layer to transmit water (Ksat): Moderately high to high (0.57 to 19.98 in/hr)
Depth to water table: About 0 to 1 inches
Frequency of flooding: None
Frequency of ponding: Frequent
Available water supply: 0 to 60 inches: Very low (about 1.1 inches)

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 5w
Hydrologic Soil Group: C/D
Ecological site: F096XB022MI - Wet Acidic Sandy Depression
Hydric soil rating: Yes

Oceana County, Michigan

50B—Covert sand, 0 to 6 percent slopes

Map Unit Setting

National map unit symbol: 6bqh
Elevation: 600 to 1,150 feet
Mean annual precipitation: 26 to 40 inches
Mean annual air temperature: 45 to 50 degrees F
Frost-free period: 120 to 170 days
Farmland classification: Not prime farmland

Map Unit Composition

Covert and similar soils: 93 percent
Minor components: 7 percent
Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Covert

Setting

Landform: Outwash plains, Lake plains
Landform position (three-dimensional): Rise
Down-slope shape: Linear
Across-slope shape: Linear
Parent material: Sandy glaciofluvial deposits

Typical profile

H1 - 0 to 1 inches: sand
H2 - 1 to 33 inches: sand
H3 - 33 to 60 inches: sand

Properties and qualities

Slope: 0 to 6 percent
Depth to restrictive feature: More than 80 inches
Drainage class: Moderately well drained
Runoff class: Negligible
Capacity of the most limiting layer to transmit water (Ksat): High to very high (5.95 to 19.98 in/hr)
Depth to water table: About 24 to 42 inches
Frequency of flooding: None
Frequency of ponding: None
Available water supply: 0 to 60 inches: Low (about 3.9 inches)

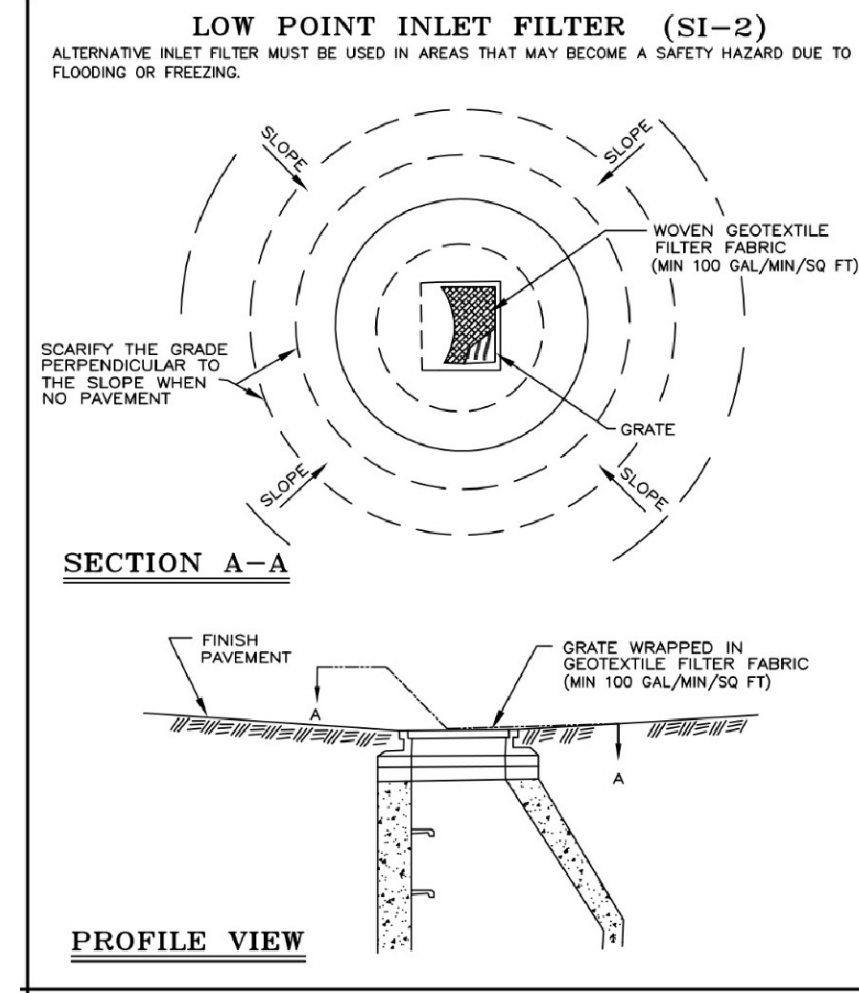
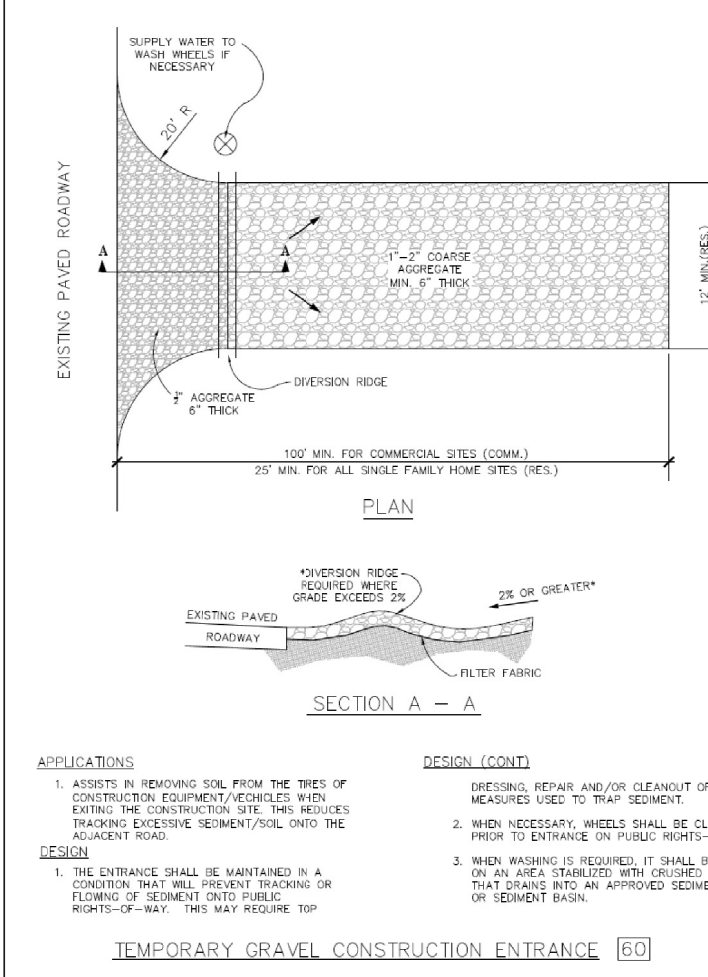
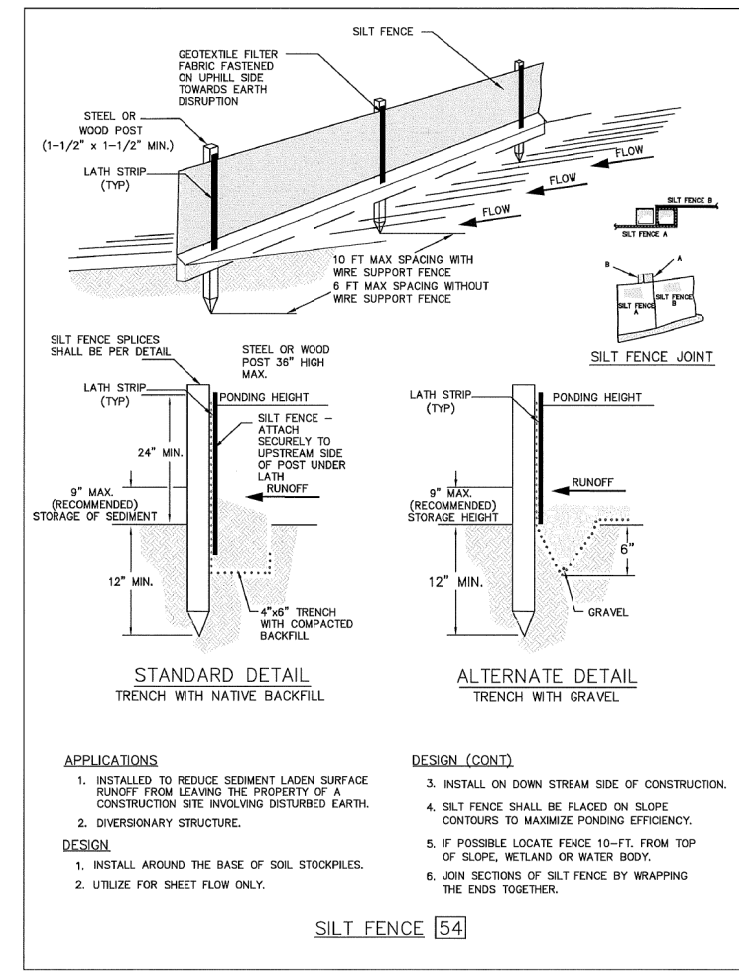
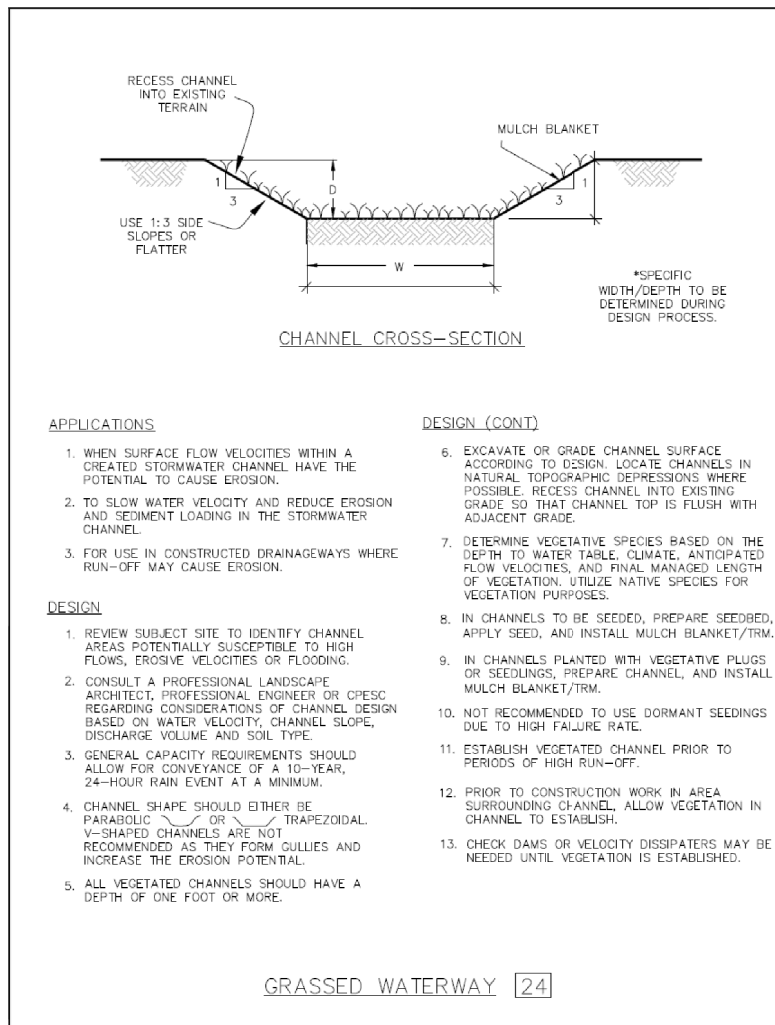
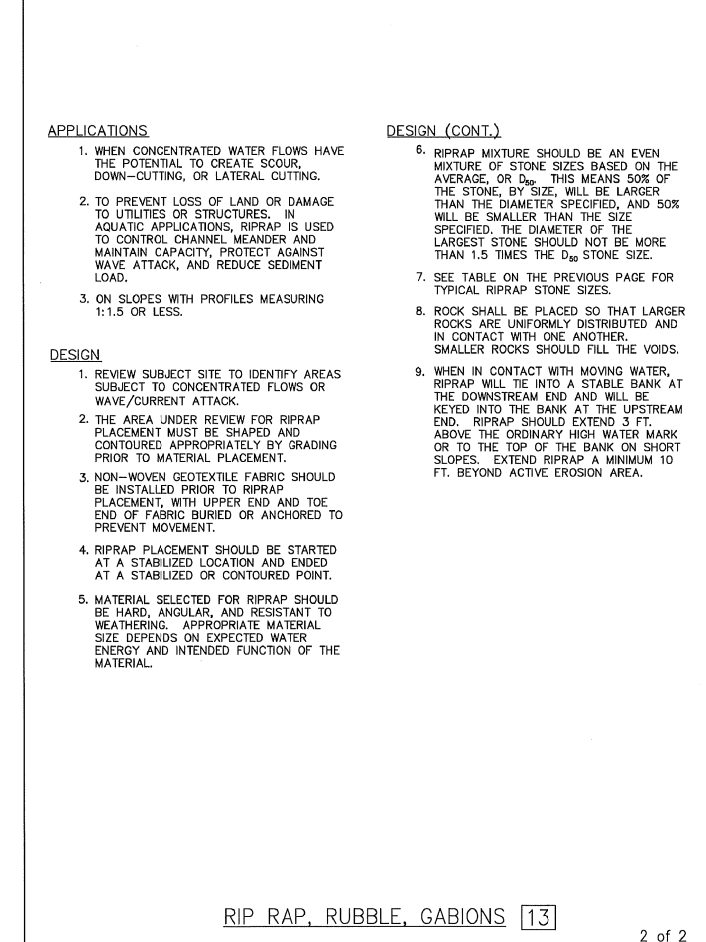
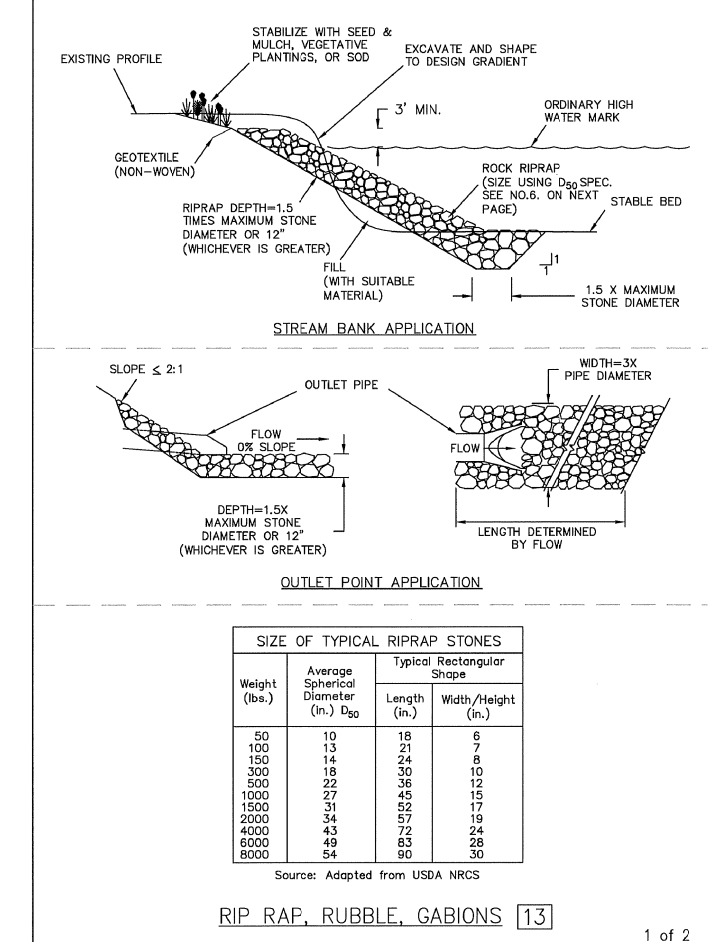
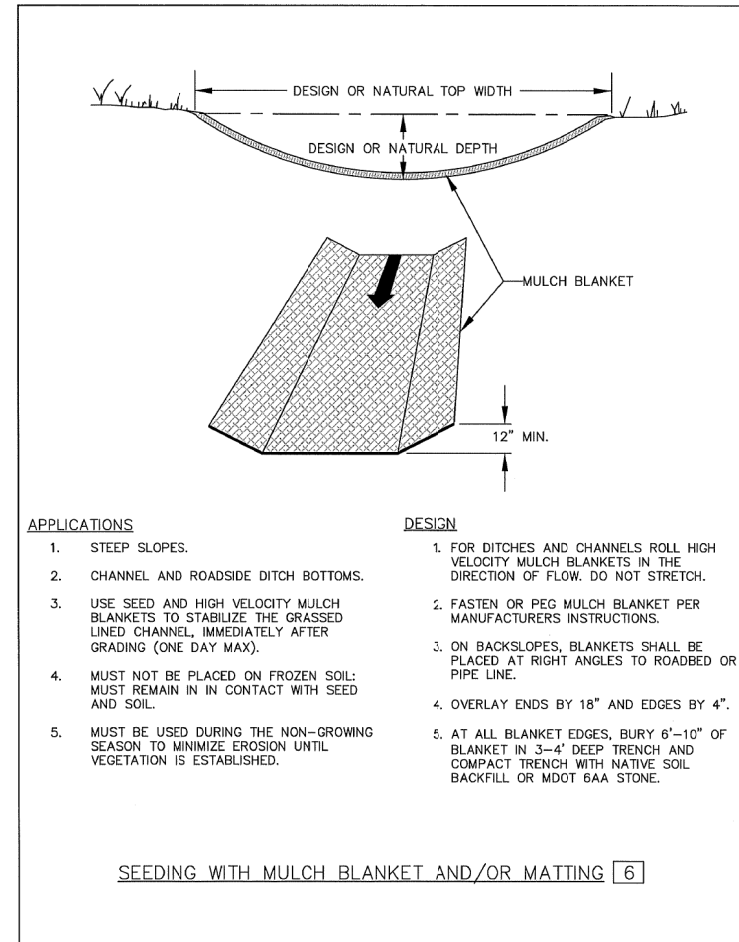
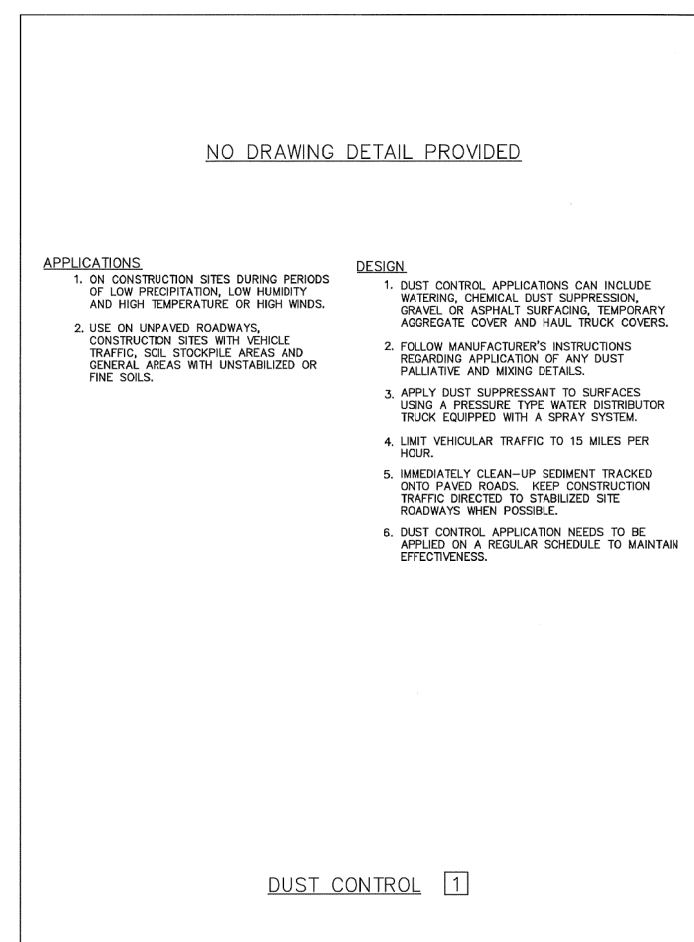
Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 4s
Hydrologic Soil Group: A
Ecological site: F096XB021MI - Acidic Sandy Depression
Hydric soil rating: No

Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

7/2/2026



2026

Construction Schedule

Construction Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Notes
Temporary SESC Measures													
Strip and Stockpile													
Rough Grading													
Underground Utilities													
Road Installation													
Building Construction													
Permanent SESC Measures													
Final Grade													
Landscaping													

Maintenance Schedule

Maintenance Sequence	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Notes
Street Sweeping													
Silt Fencing													
Maintain Buffer Strips													
Inlet Structures													
Seeding and Mulch													
Sediment Basins													
Rip-Rap													
Remove Temporary Measures													



JOB NO. TB HART

SCALE: N/A

No.	REVISIONS	DATE	BY
1	ISSUED FOR SITE PLAN APPROVAL	7.9.26	MJW



DESIGNED BY:	7.9.26
MJW	MJW
CHECKED BY:	FIELD CREW CHIEF
JAW	N/A

DEVELOPER
GREAT LAKES TACO LLC
8487 RETREAT DRIVE
GRAND BLANC, MI 48439
(810)-771-4500



REC ENGINEERS
REAL ESTATE CONSULTING ENGINEERS, LLC
169 VILLAGE COURT, ORTONVILLE, MICHIGAN 48462
PH: (810) 845-5364 EMAIL: MWI264@GMAIL.COM

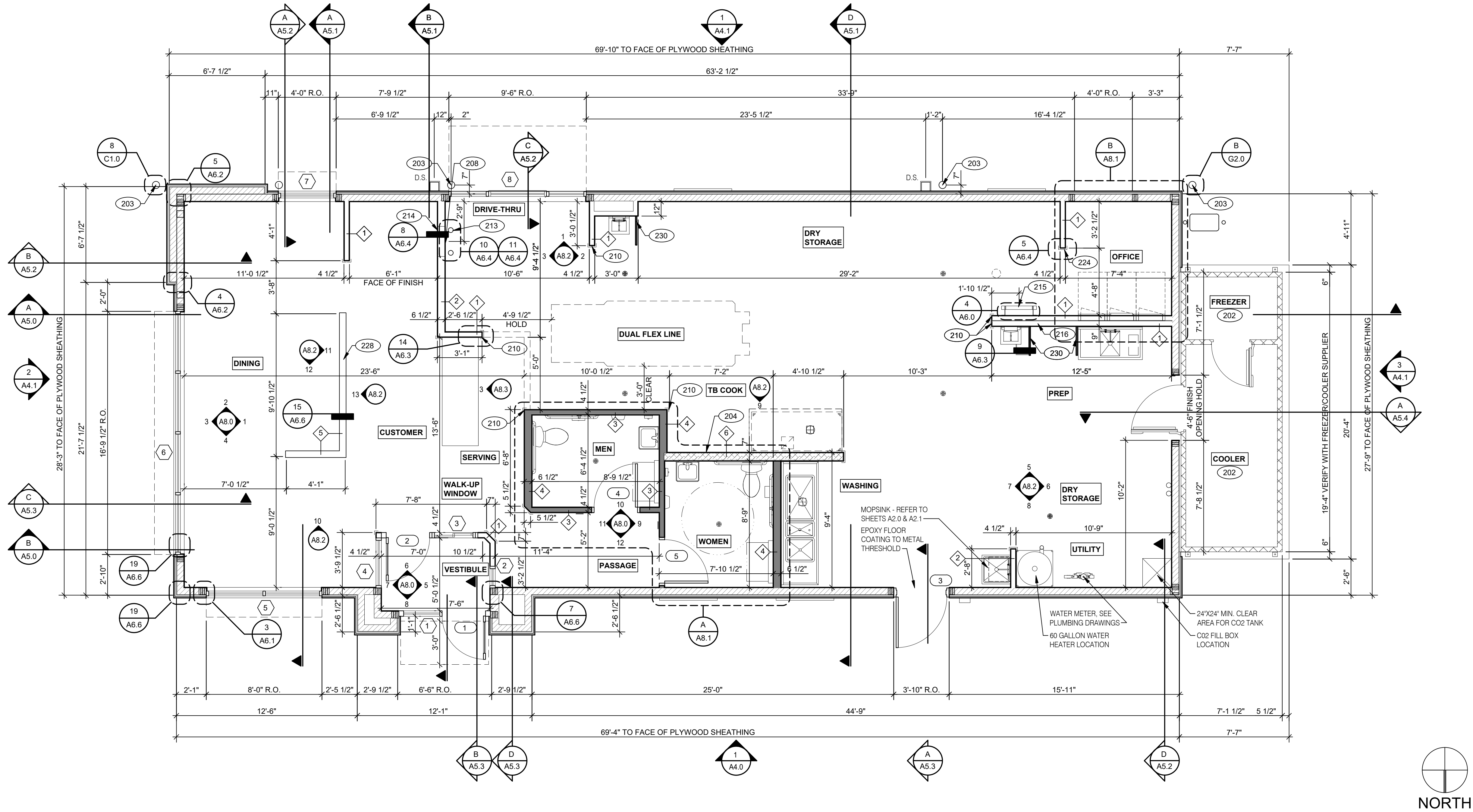
SOIL EROSION & SEDIMENT CONTROL DETAILS
FOR
HART TACO BELL

CITY OF HART

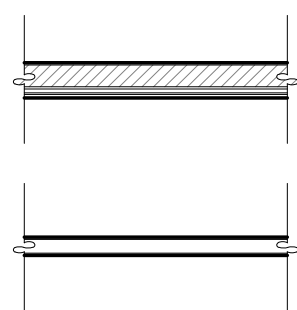
OCEANA COUNTY

MICHIGAN

C5b



FLOOR PLAN 1/4" = 1'-0" 1



WALL HEIGHTS:
ALL INTERIOR NON-BEARING WALLS GO TO BOTTOM OF TRUSS, U.O.N. REFER TO STRUCTURAL DRAWINGS

WALL SUBSTRATES:

- DINING ROOM:
1/2" GYPSUM WALLBOARD FROM FLOOR SLAB TO 6' ABOVE CEILING HEIGHT, U.O.N. - SEE DETAILS #6 & #8/A6.3 (NOTE: THE CEMENT BOARD SPECIFICATION IS DESIGNED TO ALLOW THE G.C. FLEXIBILITY)
- KITCHEN WALLS AND VESTIBULE CLOSET:
1/2" CEMENT WALLBOARD FROM FLOOR SLAB T.O. 12' A.F.F. AT 12' A.F.F. USE 1/2" CDX PLYWOOD W/FRP SURFACE FINISH TO 6' ABOVE CEILING HEIGHT, U.O.N. - IF DOUBLE SIDE SHEAR WALL PLYWOOD IS SPECIFIED, THE PLYWOOD SHALL BE CONTINUOUS FROM SILL PLATE TO TOP PLATE - SEE DETAIL #4/A6.3
- RESTROOM WALLS:
5/8" CEMENT WALLBOARD FROM FLOOR SLAB TO 48" A.F.F. WITH 5/8" HI-IMPACT BRAND XP WALLBOARD, TYPE X CORE FROM T.O. CEMENT BOARD TO 6' ABOVE CEILING HEIGHT, U.O.N. - NO SUBSTITUTIONS ALLOWED AND FINISH AS SCHEDULED
- ALL OTHER FRAME WALL CONDITIONS:
1/2" CEMENT WALLBOARD FROM FLOOR SLAB TO 48" A.F.F. WITH 1/2" GYPSUM WALLBOARD FROM T.O. CEMENT BOARD TO 6' ABOVE CEILING HEIGHT, U.O.N. - FINISH AS SCHEDULED

WALL LEGEND

E

FLOOR PLAN NOTES

D

DIMENSIONS:

- A. ALL DIMENSIONS NOTED ARE TO FACE OF CONCRETE FOUNDATION, FACE OF SHEATHING ON EXTERIOR WALLS, AND FACE OF FINISH ON INTERIOR WALLS U.O.N.
- B. DIMENSIONS NOTED AS 'CLEAR' OR 'HOLD' ARE MIN. REQUIRED, NET CLEARANCE FROM FACE OF WALL / WAINSCOT FINISH. VERIFY FINAL EQUIPMENT SIZES W/ VENDOR PRIOR TO INT. WALL FRAMING.

WINDOWS / DOORS:

- A. SEE SHEET A1.1 FOR WINDOW TYPES AND DOOR SCHEDULE.
- B. ALL DOOR AND WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING.

FINISH SUBSTRATES:

- A. PROVIDE 1/2" THICK CEMENTITIOUS BD. FROM FLOOR SLAB TO 12' A.F.F. MIN. IN LIEU OF GYP. BD. AT ALL WALLS EXCEPT SHEARWALL SURFACES, U.O.N.
- B. ALL JOINTS, GAPS OR SPACES LEADING TO ALL HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH 'NSF INTERNATIONAL' APPROVED SEALANTS.
- C. ALL BACK OF HOUSE AND OFFICE WALLS SHALL HAVE 1/2" CDX PLYWOOD SUBSTRATE, U.O.N.

DECOR:

- A. SEE A2.0 FOR SEATING PLAN AND DETAILS.
- B. SEE A7.0 FOR FLOOR FINISHES.
- C. SEE A8.0 - A8.3 FOR WALL FINISHES.
- D. SEE A7.1 FOR CEILING FINISHES.

GENERAL:

- A. PROVIDE THREE FIRE EXTINGUISHERS - (2) 10 lb. BC AND (1) 10 lb. ABC - TO COMPLY WITH LOCAL FIRE CODE. LOCATE PER DIRECTION OF FIRE MARSHALL OR LOCAL AUTHORIZING AGENT. FOR ADDITIONAL INFORMATION SEE SHEET A2.0
- B. DRAWINGS ARE BASED UPON WOOD FRAMING. UTILIZATION OF METAL STUDS ON NON-BEARING INTERIOR PARTITIONS, BULKHEADS AND SOFFITS IS ACCEPTABLE.

KEY NOTES

B

- 202 NO FRP BEHIND W-059 WALK-IN COOLER/FREEZER.
- 203 PIPE BOLLARD. SEE DETAIL.
- 204 HOOD WALL. SEE WALL LEGEND.
- 208 KEEP CLEAR FOR UTILITIES & SYRUP LINES.
- 210 S.S. CORNER GUARD/WALL CAP (TM-2) TYP. ALL CORNERS IN BACK OF HOUSE FROM REAR WALL TO THE KITCHEN SIDE OF THE SERVICE COUNTER.
- 213 SYRUP LINE CHASE (ABOVE).
- 214 14"x14" HORIZONTAL OPENING FOR SYRUP TUBES. COORDINATE WALL PENETRATION WITH COUNTER INSTALLER. SEAL CHASE TO COUNTER.
- 215 ROOF LADDER.
- 216 ADD SECOND 2X4 WALL ON KITCHEN SIDE.
- 224 CASED OPENING, REFER TO DETAIL 5/A6.4
- 225 FUR OUT WALL AS INDICATED WITH 2X4 WOOD STUDS AT 16" O.C.
- 228 LOW WALL, BY G.C. COORDINATE WITH STRUCTURAL DRAWINGS
- 230 STAINLESS STEEL SPLASH GUARD.
- 231 CORNER GUARD TILE SCHLUTER.



L + A
ARCHITECTS
INC. A.I.A.
441 S. LIVERNOIS ROAD
SUITE 265
ROCHESTER HILLS, MI 48307
PHONE 248.524.4700

PROJECT # 26021

DATE	REMARKS
7-9-2026	BRAND REVIEW
7-13-2026	SPA AND SPECIAL LAND USE

GREAT LAKES
TACO, LLC

2306 N. COMFORT DRIVE
HART, MICHIGAN 49420

GREAT LAKES TACO
SMALL MARKET PROTOTYPE
1,990 S.F. (24 SEATS)

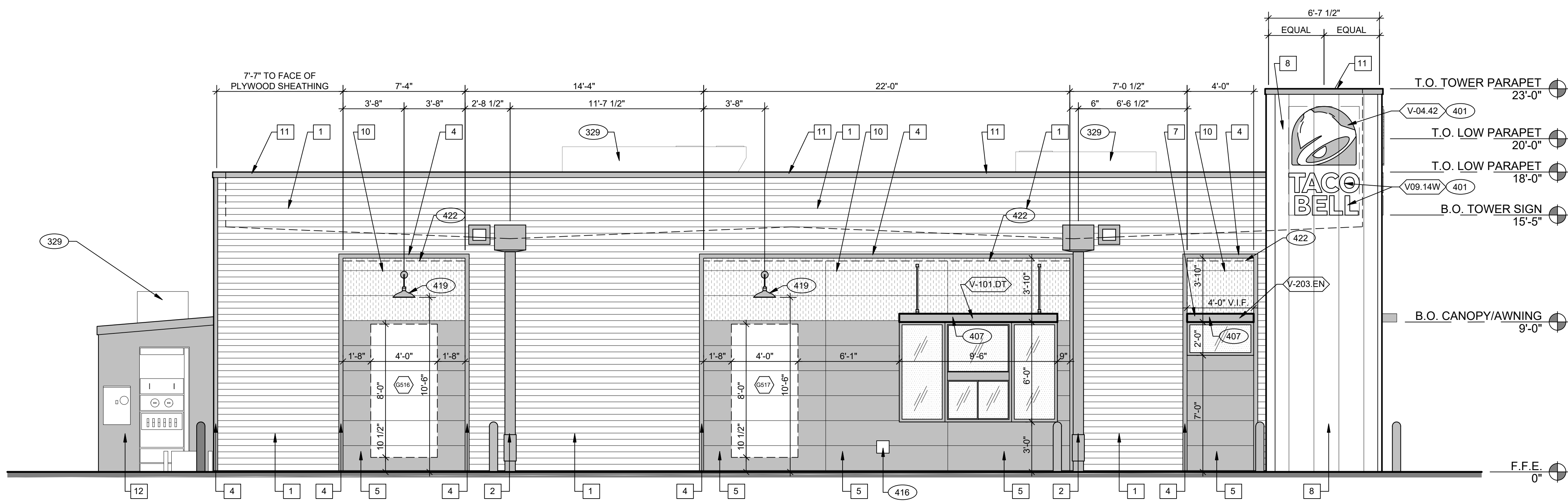
SITE NUMBER: 318635



ENDEAVOR 2.0
FLOOR PLAN

A1.0

PLOT DATE: 7/13/2026

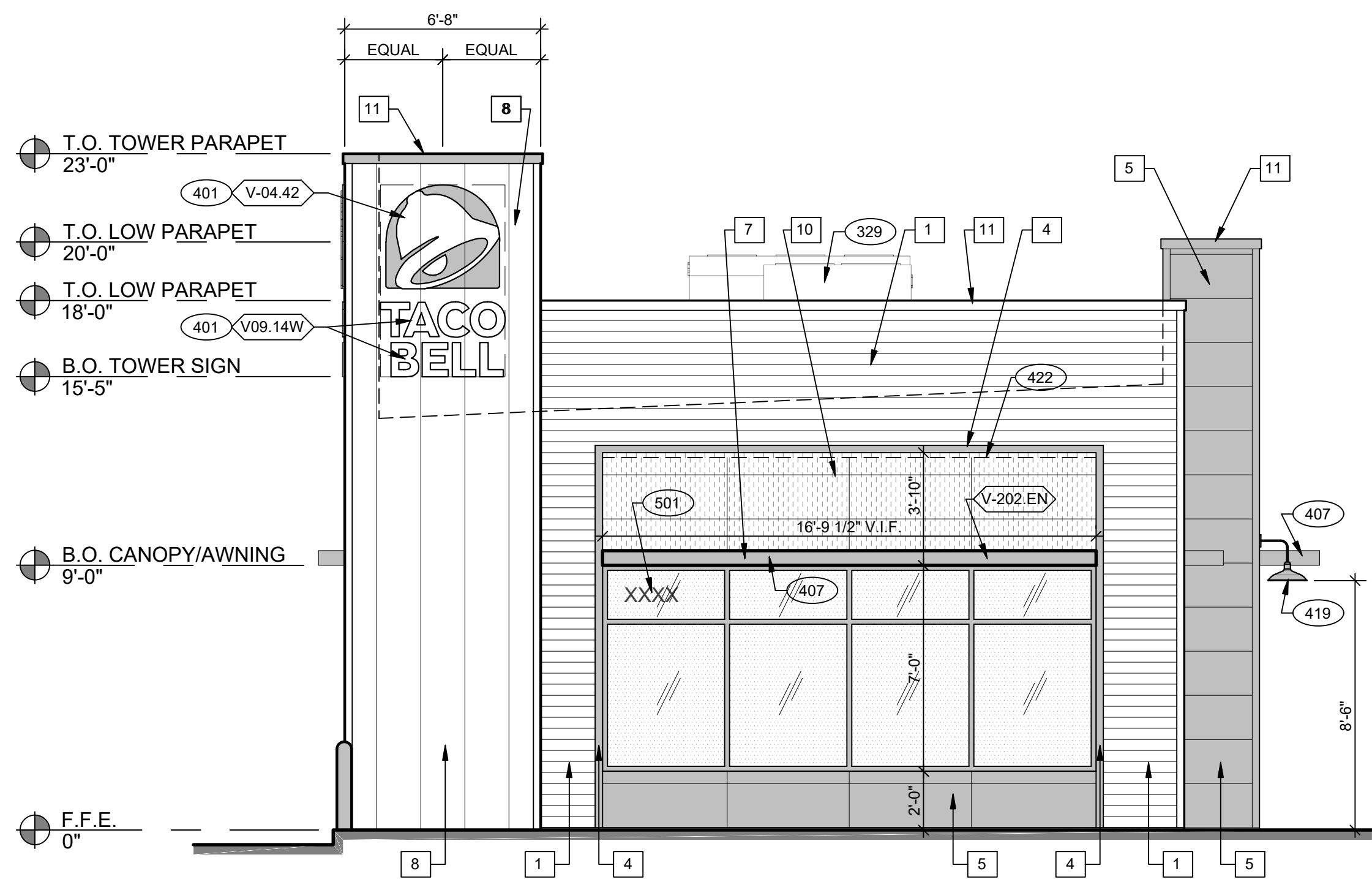


SOUTH ELEVATION 1/4" = 1'-0" **1**

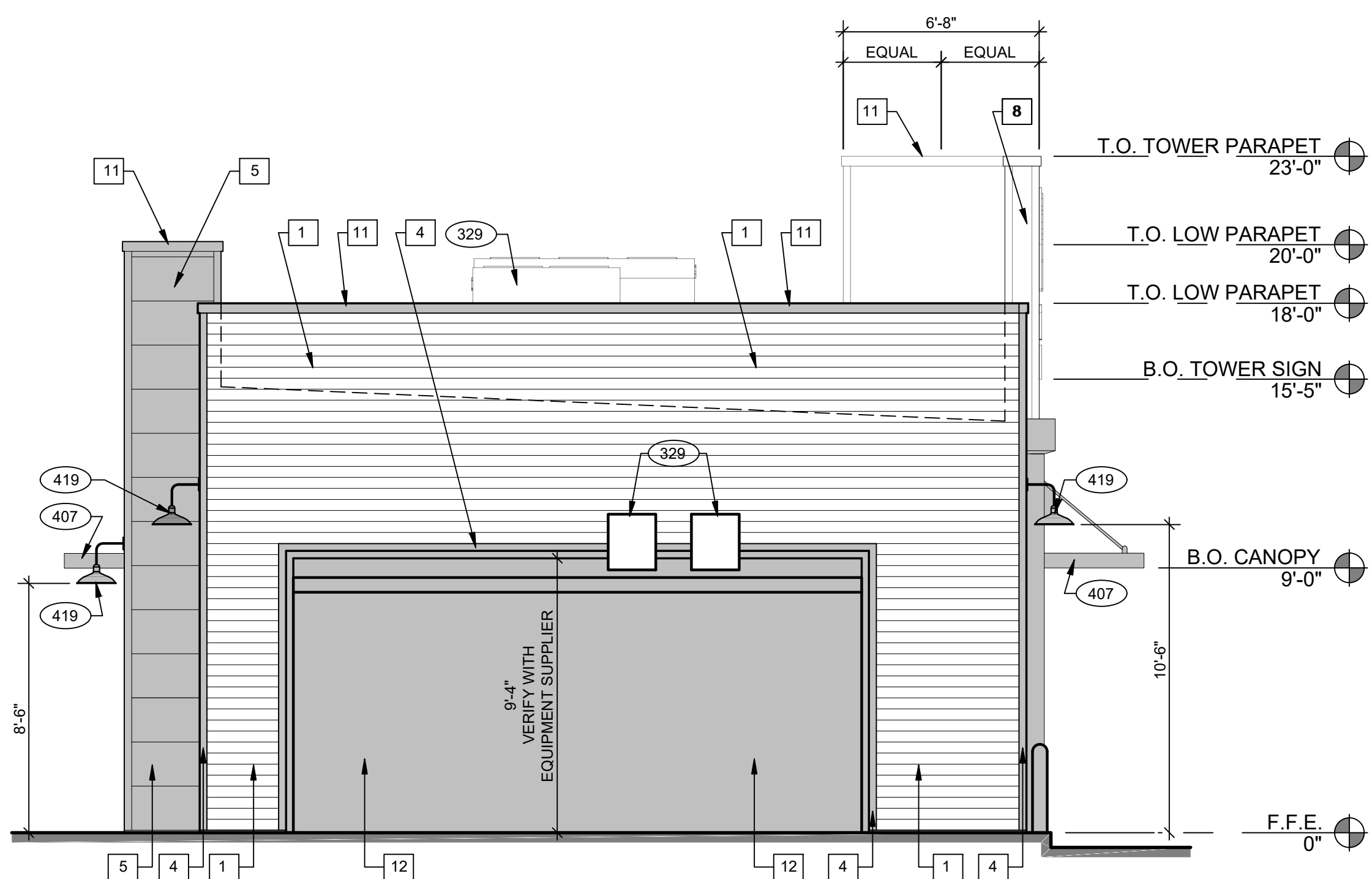
KEY NOTES

A

- SEE SHEET A4.0 FOR FINISH SCHEDULE
- 316 METAL PARAPET CAP.
329 MECHANICAL UNIT, SEE ROOF PLAN.
401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
402 DRIVE THRU WINDOW, SEE SHEET A1.0 AND A1.1.
407 METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
409 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
411 CONCRETE CURB.
419 EXTERIOR LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS.
422 PURPLE LIGHT WALL WASHER, PROVIDED BY SIGNAGE VENDOR.
424 LINE OF ROOF BEYOND.
501 BUILDING ADDRESS NUMBER - OPAQUE APPLIQUE ON OUTSIDE OF GLAZING WHITE COLOR - ARIAL TYPEFACE 8" HEIGHT.



EAST ELEVATION 1/4" = 1'-0" **2**



WEST ELEVATION 1/4" = 1'-0" **3**

NOTE: REFERENCE TO SHEET A4.0 FOR FINISH SCHEDULE



L + A
ARCHITECTS
INC. A.I.A.
441 S. LIVERNOIS ROAD
SUITE 265
ROCHESTER HILLS, MI 48307
PHONE 248.524.4700

PROJECT # 26021	
DATE	REMARKS
7-9-2026	BRAND REVIEW
7-13-2026	SPA AND SPECIAL LAND USE

GREAT LAKES
TACO, LLC

2306 N. COMFORT DRIVE
HART, MICHIGAN 49420

GREAT LAKES TACO
SMALL MARKET PROTOTYPE
1,990 S.F. (24 SEATS)

SITE NUMBER: 318635

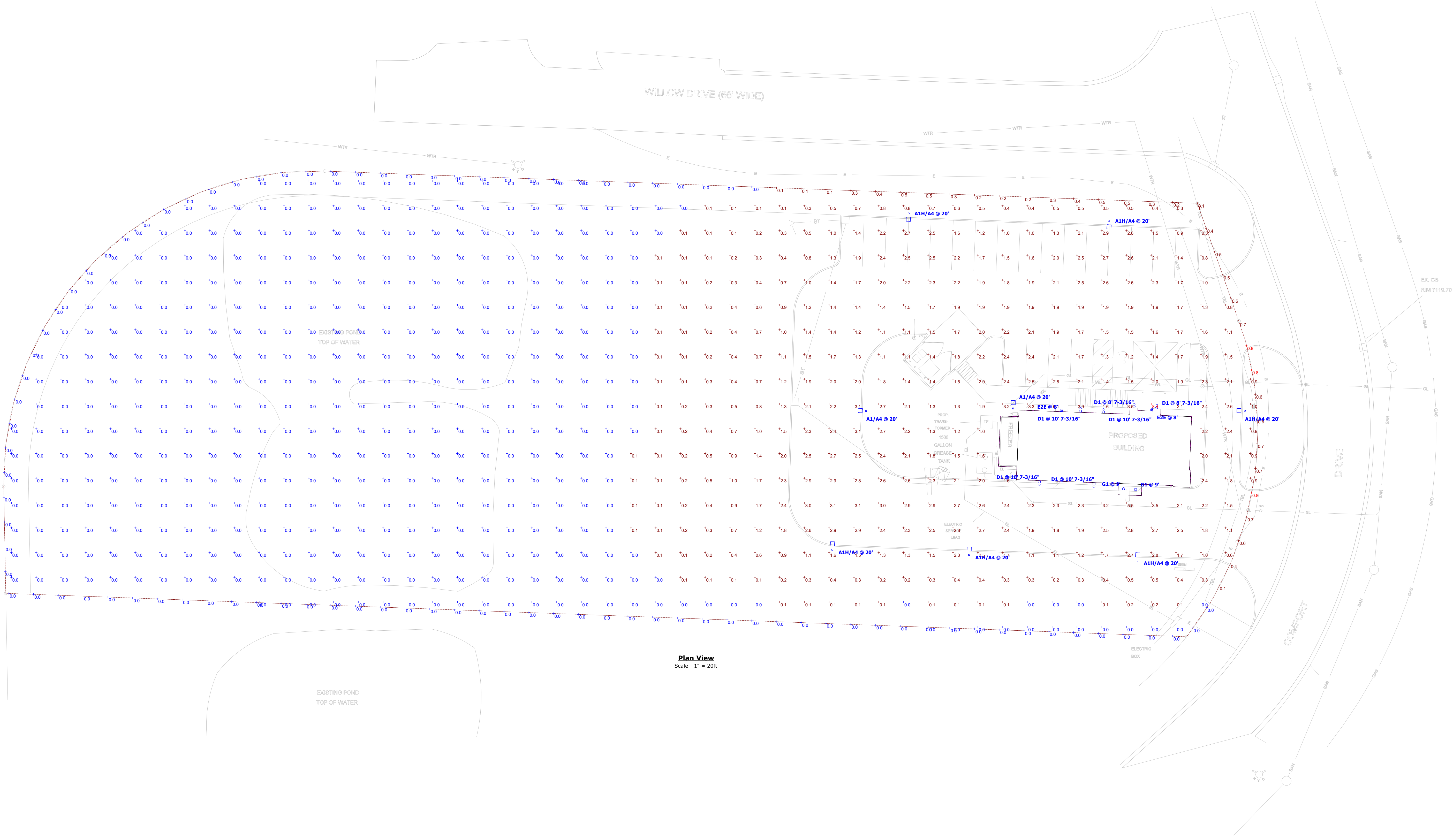


ENDEAVOR 2.0
EXTERIOR
ELEVATIONS

A4.1

PLOT DATE: 7/13/2026

68TH AVENUE (66' WIDE)



Plan View
Scale - 1" = 20'

Schedule								
Symbol	Label	Manufacturer	Catalog Number	Number Lamps	Description	Lumens Per Lamp	Light Loss Factor	Wattage
	A1/A4	LSI INDUSTRIES, INC.	MRM-LED-09L-SIL-FT-UNV-DIM-40-70CRI-BRZ	1	LED POLE MOUNTED FIXTURE, FORWARD THROW, UNV VOLTAGE, 0-10V DIMMING, 4000CCT, 70CRI, FIXTURE MOUNTED TO 17'-0" ALUMINUM POLE AND 3'-0" CONCRETE BASE. (18'-0" POLE CUT DOWN TO 17'-0")	9860	0.9	62
	A1H/A4	LSI INDUSTRIES, INC.	MRM-LED-09L-SIL-FT-UNV-DIM-40-70CRI-H-BRZ	1	SAME AS TYPE A1, EXCEPT WITH HOUSE SIDE SHIELDS	7081	0.9	62
	D1	TROY	B2772	1	17"x14" WALL MOUNT SCONCE, OLD SILVER FINISH, MEDIUM BASE SOCKET, 6 WATT T24 DARK SKY QUALIFIED EQUIVALENT, EARLY ELECTRIC LED LAMP, 2200K CCT	879	0.45	6
	E2E	Lithonia Lighting	WDGE1 LED P1 40K 80CRI VF MOUNT E4WH DWG DDBXD	1	WDGE1 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 80CRI, VISUAL COMFORT FORWARD OPTIC, EMERGENCY BATTERY, 0-10V DIMMING	1227	0.9	10.0002
	G1	Lightolier	FD6R4CCT	1	6" DIAMETER RECESSED LED FLAT DOWN LIGHT, DIFFUSED LENS, WET LISTED, FIXTURE RECESSED MOUNTED AT 9'-0" AFG	900	0.9	13

Note

1. FIXTURE MOUNTING HEIGHTS ARE MEASURED FROM GRADE TO BOTTOM OF FIXTURES.
2. SEE FIXTURE SCHEDULE FOR LIGHT LOSS FACTOR.
3. REFER TO SITE PLAN & LUMINAIRE LOCATIONS SCHEDULE FOR FIXTURE MOUNTING HEIGHTS.
4. CALCULATIONS ARE SHOWN IN FOOTCANDLES. PROPERTY LINE & SITE CALCULATIONS ARE SHOWN @ GRADE.

THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

Statistics							
Description	Symbol	Max	Avg	Min	Max/Min	Avg/Min	
Site	+	8.4 fc	0.6 fc	0.0 fc	N/A	N/A	
Property Line	+	0.8 fc	0.1 fc	0.0 fc	N/A	N/A	

Luminaire Locations												
Location										Aim		
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z		
40	A1/A4	346.37	116.75	20.00	20'	273.14	0.00	345.20	116.81	0.00		
19	A1H/A4	499.23	116.79	20.00	20'	271.41	0.00	498.05	116.82	0.00		
20	A1H/A4	332.77	60.70	20.00	20'	1.41	0.00	332.80	61.87	0.00		
21	A1H/A4	387.96	58.63	20.00	20'	1.41	0.00	387.99	59.81	0.00		
22	A1H/A4	455.96	56.27	20.00	20'	1.41	0.00	455.99	57.45	0.00		
23	A1H/A4	444.57	193.39	20.00	20'	183.25	0.00	444.50	192.22	0.00		
24	A1H/A4	363.61	196.44	20.00	20'	183.25	0.00	363.54	195.27	0.00		
31	D1	438.40	87.72	10.60	10' 7-3/16"	182.42	0.00	438.38	87.22	0.00		
32	D1	416.30	88.56	10.60	10' 7-3/16"	182.42	0.00	416.28	88.06	0.00		
33	D1	442.11	115.80	10.60	10' 7-3/16"	0.90	0.00	442.12	116.30	0.00		
34	D1	432.84	116.15	10.60	10' 7-3/16"	0.90	0.00	432.85	116.65	0.00		
35	D1	454.51	117.88	8.60	8' 7-3/16"	2.97	0.00	454.53	118.37	0.00		
36	D1	463.70	117.54	8.60	8' 7-3/16"	2.97	0.00	463.72	118.04	0.00		
12	E2E	462.15	117.13	8.00	8'	272.02	0.00	462.02	117.14	0.00		
13	E2E	425.11	116.45	8.00	8'	1.52	0.00	425.11	116.58	0.00		
11	G1	455.13	85.00	9.00	9'	206.83	0.00	455.13	85.00	0.00		
12	G1	450.30	85.28	9.00	9'	206.83	0.00	450.30	85.28	0.00		
30	A1/A4	405.73	117.72	20.00	20'	0.70	0.00	405.74	118.89	0.00		



Designer
DB
Date
07/16/2026
Scale
As Noted
Drawing No.

Summary



Memorandum

TO: City of Hart Planning Commission
FROM: Remy Clark, Senior Planner
SUBJECT: **Taco Bell Drive Thru Special Land Use Review**
DATE: July 24th, 2026

City of Hart Planning Commission:

McKenna has reviewed the Special Land Use application for the proposed Taco Bell Drive Thru which was prepared and submitted to the City on July 17th, 2026.

Project Summary

Taco Bell has proposed to construct a new restaurant at 2306 N Comfort Drive. The property is zoned B-2 – General Business.

The property in question is currently vacant. The submitted site plan illustrates a new restaurant structure with an associated drive thru, a special land use in the B-2 district, and surface parking. In conjunction with the Site Plan Review Application, the applicant has submitted a Special Land Use application for the drive thru. This letter serves to assess the Special Land Use application for the associated Drive Thru.

FINDINGS OF FACT

The applicant proposes to construct a new building to house a new restaurant that will offer drive thru service.

1. The proposed Special Land Use is in accordance with the Standards of Approval as outlined in Section 1256.04 of the City of Hart's Zoning Ordinance. The use would not be detrimental to the City, its residents, or the surrounding commercial area. It is the recommendation of McKenna that final approval be granted for this Special Land Use request.

The attached Special Land Use Review summarizes our findings for the Taco Bell site plan application

Respectfully submitted,

Remy Clark
Senior Planner



Special Land Use Review

SUMMARY

Standards for Special Land Use Review are set forth by Section 1256.04 of the City of Hart's Zoning Ordinance. This review will evaluate each standard of approval so that the Planning Commission will have the necessary information to base their decision.

1. STANDARDS FOR APPROVAL

The standards for Special Land Use approval as outlined by Section 1256.04 are listed below. The manner in which the proposed plan addresses each standard is summarized as well:

- a. *Be designed, constructed, operated and maintained so it will be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will not result in a detrimental change to the essential character of the area in which it is proposed.*

As proposed, the Taco Bell Drive Thru facility would not result in any detrimental change to the essential character of the area in which it is proposed. The proposed structure will be sited across the street from a restaurant with a similar drive thru arrangement. This area is commercial in nature and is the ideal location in the City for a facility of this type.

- b. *Be adequately served by essential public facilities and services such as highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities and schools.*

The restaurant will be adequately served by all services outlined above. While the exact location of the existing sanitary sewer main is in question, the applicant intends to connect to an existing City sewer main.

- c. *Not create excessive additional requirements at public cost for public facilities and services.*

No excessive additional requirements at public cost for public facilities and services as a result of the construction of the proposed restaurant and drive thru are anticipated.

- d. *Not involve uses, activities, processes, materials and equipment or conditions of operation that will be overly detrimental to any persons, property or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.*

The proposed drive thru use will not involve any use, activity, process, materials, equipment, or conditions of operation that will be overly detrimental to any persons, property, or the general welfare.

- e. *Be consistent with the intent and purpose of the zoning district in which such use will be located*



The purpose of the B-2 District is as follows: *“The B-2 District is primarily intended to provide for an orderly and concentrated development of business outside the Central Business District in areas designated in the City Master Plan in order to serve the needs of the motoring public and local residents. A wide range of retail service, office governmental, institutional and limited residential uses are permitted.”* The proposed primary use, a restaurant, is expressly permitted in the B-2 District. The proposed drive thru structure is consistent with the intent of the B-2 District.

- f. Be compatible with and in accordance with the City Master Plan.*

The City of Hart Master Plan's Future Land Use Map designates this portion of Comfort Drive as “Regional Commercial Corridor”. As outlined in the Master Plan, the Regional Commercial Corridor designation is intended to accommodate highway commercial uses, which would include a drive thru restaurant facility. As such, the proposed structure is consistent and compatible with the intent of the City's Master Plan.

2. FINDINGS

The proposed Special Land Use is in accordance with the Standards of Approval as outlined in Section 1256.04 of the City of Hart's Zoning Ordinance. The use would not be detrimental to the City, its residents, or the surrounding commercial area. It is the recommendation of McKenna that final approval be granted for this Special Land Use request.

City of Hart
Site Plan Review Application Form

The Following, To Be Completed By Applicant Prior To Submittal Of Site Plan:

1.	Developers Name GREAT LAKES TACO, LLC	
	Address 8487 RETREAT DR., GRAND BLANC, MI. 48439	
	Phone Number (248) 506-4501	
2.	Legal Property Owner OWNER TO BE GREAT LAKES TACO, LLC ABOVE	
	Address REFER TO ATTACHED PURCHASE AGREEMENT	
	Phone Number (248) 506-4501	
3.	Site Plan Designers REC ENGINEERS	
	Name JOSEPH WIZYNATJYS	
	Address 169 VILLAGE COURT, ORTONVILLE, MI. 48462	
	Phone Number (810) 845-5364	
	Registration Number 60201021585	
4.	Description of Proposed Development:	☒ New ☐ Addition
5.	If an appeal of the strict application of the standards of the Zoning Ordinance is to be taken, please so indicate below.	

Appeal Requested _____

For City Use Only

Initial Site Plan Review fee paid (date) _____

Site Plan Application Number _____

_____ Residential Site Plan

_____ Non-Residential Site Plan

CITY OF HART
SITE PLAN REVIEW CHECK LIST FORM: PAGE 2

Prior to submittal of a site plan, the applicant shall review the following elements for inclusion, where applicable, on the site plan, and shall be in sufficient detail to meet the intent and purpose of the review process. The applicant will check the box in the left-hand column marked "Applicant" only and will mark all applicable elements. A check mark by the applicant for each element involved will indicate that the applicant made the proper notation on the site plan. If the applicant **is** satisfied that all such information required is properly noted on the site plan, the applicant will sign and date the checklist in the place provided and submit the signed Site Plan Review Application Form with the site plan to the Planning Commission Coordinator.

	Checked by Applicant	Checked by Review Agency
1. Name of Development	☒	☐
2. Name, address & phone number of:		
a. Developer	☒	☐
b. Legal Owner	☒	☐
c. Designer/Firm	☒	☐
d. Designer Registration No. and Seal	☒	☐
3. Scale of Drawing		
a. If less than 3 acres- 1" = 50' 1" = 30'	☒	☐
b. If more than 3 acres 1" = 100'	☐	☐
c. Sheet size shall not exceed 24" x 36"	☒	☐
d. Legend	☒	☐
4. Date	☒	☐
5. North Point	☒	☐
6. Complete legal description of entire site i.e. Metes & Bounds description if acreage Parcel, lot #(s) and subdivision name. All Legal descriptions will include:		
a. Gross # of acres	☒	☐
b. Net usable acres	☒	☐
c. Section Number	☒	☐

	Checked by Applicant	Checked by Review Agency
7. Vicinity Sketch or Site Map which does not have to be drawn to scale	☒	
8. Topographic elevations at 10 foot intervals on and off the site		
a. Existing	☒	
b. Proposed	☒	
9. Existing drainage courses and existing lake or stream elevation's		
10. The location of all existing & proposed on-site utilities including their connection to off-site utilities		
a. Water Supply		
Existing	☒	
Proposed	☒	
b. Sanitary Sewer		
Supply Existing	☒	
Proposed	☒	
c. Storm Sewer		
Supply Existing	☒	
Proposed	☒	
d. Electric Supply (above & below ground)		
Existing	☒	
Proposed	☒	
e. Telephone Supply (above & below ground) Existing	☒	
Proposed	☒	
f. Gas Supply		
Existing	☒	
Proposed	☒	
g. Other		
Existing		
Proposed		
11. Existing Zoning Classification of the parcel	☒	

	Checked by Applicant	Checked by Review Agency
12. Existing Zoning Classification of adjacent parcels	_____	_____
13. Existing land use on adjacent parcels	_____	_____
14. The location of all existing buildings & structures within 100' of parcel	_____	_____
15. The location of all building and structures on site.	✓	_____
16. All building/structure height's	✓	_____
17. Location of all off-street parking spaces including required handicapped spaces, vehicle maneuvering lanes, and service drives	✓	_____
18. Location of all loading and unloading facilities	✓	_____
19. Location of all driveways, drives, and turning lanes	✓	_____
20. Location of all drives, driveways & intersections across abutting streets from parcel	✓	_____
21. Names, locations, right-of-way widths, center- lines, and pavement widths of all bordering roads, streets, and easements	✓	_____
22. Location of all sidewalks	_____	_____
23. Critical sitedimensions		
a. Along property lines	✓	_____
b. Between buildings	✓	_____
c. Between parking & buildings	✓	_____
d. Between parking & parcel lines	✓	_____
e. Between principal & accessory buildings	✓	_____
f. Parking space width/length (typical)	✓	_____
g. Vehicle maneuvering lane/service drive widths	✓	_____
h. Curb radius (entrances)	✓	_____
i. Between buildings & parcel lines	✓	_____
j. Between buildings & retention/detention ponds	✓	_____

	Checked by Applicant	Checked by Review Agency
24. Building Layouts (typical floor plan) including:		
a. Principal entrances & service entrances	✓	
b. The relationship between units within a building	✓	
c. Exterior building wall facade drawings of all exposed wall	✓	
25. Building elevation drawings showing the type and color of exterior building wall facade materials to be covered by signs to be attached to the building	✓	
26. Location, size & type of signs to be utilized shall be provided for the site and building's on the site. In instances where signs are not determined due to unknown occupants at the time of site plan review, it shall be required that all signs receive the review and approval of the Planning Commission prior to occupancy of a structure.	✓	
27. The location and extent of any outdoor storage areas	N/A	
28. The type, height & extent of any outdoor storage areas	N/A	
29. The type & height of screening for trash Receptacles	✓	
30. The location type & extent of any required screening devices.	N/A	
31. A complete landscape planting plan identifying all landscape plantings by location, type and height. Where earth berms are used, their height and width shall be noted and a cross section of the berm included.		
32. The location & type of all outdoor lighting	✓	

Checked by
Applicant

Checked by
Review Agency

33. FOR MULTIPLE DWELLING DEVELOPMENTS:

- a. The maximum lot coverage of all buildings shown
- b. Formula for distances between buildings shown
- c. Site density computations including total number of dwellings units and number of bedrooms per unit. When development is in phases, the requirements for b. and c. above shall be shown for each phase.

_____	_____
_____	_____
_____	_____

34. FOR NON-RESIDENTIAL USES:

- a. Proposed use
- b. Gross & net usable square feet of floor area
- c. Seating capacity or maximum occupancy permitted
- d. Number of medical examining rooms, dental chairs, and square footage of waiting rooms or beds
- e. Number of employees in largest working shift

✓	_____
✓	_____
✓	_____
N/A	_____
_____	_____

I hereby certify that I have read and understand the above Checklist items and those items that apply to my site plan, are included on the site plan.

Signature of Applicant: _____

Date Received: _____

Initials of accepting staff _____

HAZARDOUS SUBSTANCES REPORTING FORM FOR SITE PLAN

Note: This form should be completed and submitted as part of the site plan for all facilities

Name of Business GREAT LAKES TACO, LLC (TACO BOX)
Name of Business Owner Same
Street Address 8487 RETREAT DRIVE, GRAND BLANC, MI
Telephone 810-771-4500 x 1018 48439
Owner's signature [Signature]
Information Compiled by ROBERT V. GRUBENSHU

Part I- Management of Hazardous Substances and Polluting Materials

1. Y ☐ N ☒ Will the proposed facility expect to store, use or generate hazardous now or in the future? If yes, please complete this form and submit with your site plan.
2. Y ☐ N ☒ Will hazardous substances or polluting materials be reused or recycled on-site?
3. Y ☐ N ☒ Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here, on an attached page, or as a detail on the site plan:

4. Y ☐ N ☒ Will new underground storage tanks be located less than 2000 feet from drinking water wells serving two or more establishments or less than 300 feet from a single-family drinking water well?
5. Y ☐ N ☒ Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving two or more establishments or less than 50 feet from a single-family household?

If the answers to #4 or #5 are yes, current or proposed activities may be in violation of State of Michigan underground storage tank regulations Michigan Department of Environmental Quality, Environmental Response Division: 734-953-0241.

6. Y ☒ N ☐ Will the interior of the facility have general purpose floor drains?* If yes, will the floor drain connect to: (circle one)

- a. Sanitary sewer system
- b. On-site holding tank: or
- c. On-site system approved by the Michigan Department of Environmental Quality in accordance with groundwater Discharge permit requirements (administered by Waste Management Division).

* Note: General purpose floor drains should not be connected to a storm drain, dry well, or septic system.

7. Y ☐ N ☒ Will hazardous substances or polluting materials be stored, used, or handled out-of-doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities, which will be used (use an attached sheet with diagram, if appropriate):

Additional information may be requested by the local government to assure that site plans comply with local, county and state environmental protection requirements. (Part II on Following Page)

**TYPES AND QUANTITIES OF HAZARDOUS SUBSTANCES AND POLLUTING MATERIALS WHICH WILL BE USED,
STORED, OR GENERATED ON-SITE**

Please list the hazardous wastes and other polluting materials, which are expected to be used, stored, or generated on-site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary, to list all hazardous substances and polluting materials.

Common Name (Trade Name)	Chemical Name (Components)	Form	Max quantity on hand at one time	Type of storage containers
		Key: Lq Liquid P Lq Pressurized Liquid S Solid G Gas P G Pressurized Gas	Key: AGT above ground tank DM Drums UGT Underground Tank CY Cylinders CM Metal container W Wooden or composite container TP Portable Tank O Other (specify)	

City of Hart Wellhead Protection Plan



Memorandum

TO: City of Hart Planning Commission
FROM: Remy Clark, Senior Planner
SUBJECT: **Taco Bell Site Plan Review**
DATE: July 24th, 2026

City of Hart Planning Commission:

McKenna has reviewed the Site Plan for the proposed Taco Bell commercial building which was prepared and submitted to the City on July 17th, 2026. The commercial building will be located at 2306 N Comfort Drive as a new building on an existing vacant parcel, and we offer the following review analysis comments.

Project Summary

Taco Bell has proposed to construct a new restaurant at 2306 N Comfort Drive. The property is zoned B-2 – General Business.

The property in question is currently vacant. The submitted site plan illustrates a new restaurant structure with an associated drive thru, a special land use in the B-2 district, and surface parking. In conjunction with the Site Plan Review Application, the applicant has submitted a Special Land Use application for the drive thru. This request will be reviewed in a separate review letter.

FINDINGS OF FACT

The applicant proposes to construct a new building to house a new restaurant that will offer drive thru service.

1. A restaurant is a permitted land use in the B2 – General Business District subject to Site Plan Review. The drive thru portion of the proposed development is a special land use in the B-2 District and is subject to Special Land Use review.
2. Is subject to additional reviews by the City of Hart Department of Public Works, City Engineer, and Fire Marshall. Further, the development may need to be reviewed by Oceana County Drain Commissioner regarding stormwater management.
3. The following outstanding items must be provided by the applicant to allow for the granting of final approval: lighting plan, landscape plan, and confirmation of location of existing sewer main.

The attached Site Plan Review summarizes our findings for the Taco Bell site plan application



Respectfully submitted,



Remy Clark

Senior Planner



Site Plan Review

SUMMARY

Standards for Site Plan Review are set forth by several sections of the City of Hart's Zoning Ordinance. This review will evaluate each section individually so that the Planning Commission will have the necessary information to base their decision. Items that are underlined may require additional discussion and/or identify outstanding items that need to be addressed by the applicant.

1. ZONING & USE

The subject site is zoned B2- General Business District. The intent of the B-2 District is:

"to provide for an orderly an concentrated development of business outside the CBD in areas designated in the City Master Plan in order to serve the needs of the motoring public and local residents. A wide range of retail service, office governmental, institutional, and limited residential uses are permitted."

Location	Existing Land Use	Zoning District
Subject Site	Vacant	B-2– General Business
North	Restaurant	B-2– General Business
South	Vacant	B-2– General Business
East	Commercial	B-2– General Business
West	Vacant	B-2– General Business

2. SCHEDULE OF REGULATIONS

Section 1250.04 outlines the requirements as it pertains to lot size, yards, setbacks and other dimensional regulations within the B-2 – General Business District.

Findings.

The proposed building meets dimensional standards for the RM – Multiple Family Residential District.

Requirement Type	Required	Proposed	Comments
Minimum Lot Size	none	1.91 acres	Complies
Minimum Lot Width	none	134.84'	Complies
Front Yard Setback	25 ft.	25 ft minimum	Complies
Side Yard Setback	0 ft.	10 ft minimum	Complies



Rear Yard Setback	0 ft.	401 ft	Complies
Building Height	35 ft.	23 ft	Complies

3. OFF-STREET PARKING

Parking. Parking is regulated in Chapter 1260 of the Zoning Ordinance.

Section 1260.10 specifies that there is one parking space for each 300 square feet of floor space for Commercial uses.

Findings: The proposed building is 1,990 square feet in size. As such, the new development will be required to provide seven (7) parking spaces per Ordinance regulations. The Site Plan indicates that 23 parking spaces will be in site, of which one (1) will be designated as handicapped parking.

4. SITE PLAN REVIEW GUIDELINES

Chapter 1258 provides the guidelines for the required information to be included on a Site Plan. Section 1258.05 outlines the following items that shall be included in a submitted Site Plan:

Required Item to be considered	Complies
Appropriate Scale	Yes*
Plan Completion Source (Architect, Engineer)	Yes
Date, North Point	Yes
Lot Dimensions	Yes
Contour Lines/Topography	Yes
Structure Siting	Yes
Architectural elevations of the Building	Yes
Setbacks, Egress	Yes
Drives/Parking	Yes**
Loading Areas	Yes



Pedestrian Walks	N/A
Walls/Fences	Yes
Dumpster with Fencing	Yes
Lighting Plan	No
Landscaping Plan	No
Abutting Streets	Yes
Surface Treatments	Yes
Storm Water Management	Yes***
Sewer and Water Lines	Yes****
Signage	Yes
Significant Environmental Features	Yes
Hazardous Materials	N/A

* The site plan is shown at a scale of 1"=30'. While the ordinance technically requires a scale of 1"=100', the scale is appropriate for the proposed plan. This requirement may be waived by the Zoning Administrator or Planning Commission.

** The proposed Drive Thru will be subject to a separate Special Land Use review.

*** Storm water management verification should be completed prior to final approval.

**** While the exact location of the existing sanitary sewer main is in question, the applicant intends to connect to an existing City sewer main. The Planning Commission may choose to defer final approval until the exact location is confirmed.

5. FINDINGS

The Site Plan for the proposed Taco Bell is reasonably in compliance with the provisions of the City of Hart's zoning ordinance; however, there are a few items that need to be addressed before final approval can be given. Firstly, a lighting plan needs to be provided. The elevations provided by the applicant provide some context regarding exterior building lighting, though no parking lot lighting is shown on the plan. The applicant must confirm the intended lighting of the site. All of the fixtures need to ensure that no stray lighting will go onto neighboring properties or the roads



Additionally, no landscaping plan is provided. A plan showing the location, type, and size of any landscape materials must be provided.

Finally, the exact location of the existing sanitary sewer main to which the sanitary lead will be connected has not been confirmed. The Planning Commission may choose to defer final approval until this aspect of the plan has been finalized.

McKenna would recommend that a conceptual site plan approval be given for the proposed use and placement of the building, but formal site plan approval should be delayed until the items identified in this review have been completed and submitted for consideration.



CITY OF HART
407 State St. Hart, MI 49420
(T) 231-873-2488 (F) 231-873-0100
www.cityofhart.org

APPLICATION FOR A REZONING REQUEST

APPLICANT INFORMATION

Name of Applicant: Elevate Oceana
Address: 2161 N White Birch, Mears, MI 49436
Telephone: 616-250-0727 E-mail: elevateoceana@gmail.com

Are you the owner of record for the property of the requested rezoning? ☒ YES ☐ NO

If you are NOT the owner of record for the property of the requested rezoning, please complete the below section PROPERTY OWNER INFORMATION.

PROPERTY OWNER INFORMATION

Name of Applicant: _____
Address: _____
Telephone: _____ E-mail: _____

LOCATION OF PROPERTY FOR WHICH THIS REZONING IS REQUESTED

Property Address: 111 Church Street
Cross Streets: State and Church
Parcel ID Number: 64-020-721-003-00 Lot Size (in acres): 0.15
Lot Width: 60 Lot Depth: 110

Present Zoning Classification: A Residential

Requested Zoning Classification: B-2 General Business

Zoning District of Adjacent Properties to the: North B-2 South B-2 East B-2 West A

In the area provided or on a separate sheet, provide a statement indicating why, in your opinion, the requested rezoning is necessary for the presentation and enjoyment of substantial property rights, and why such change will not be detrimental to the public welfare, nor the property of other persons located in the vicinity:

See Attachment A

In the area provided or on a separate sheet, explain how the requested rezoning is consistent with the goals, policies and Future Land Use Map of the City of Hart Master Plan, including any sub-area or corridor studies. If conditions have changed since the Plan was adopted, the consistency with recent development trends in the area:

The master plan for Hart has these properties moving to business zoning in the future, so this is consistent with future plans for our city.

ADDITIONAL REQUIREMENTS

As part of the Application to Request a Rezoning, the City requires a deed as proof that the applicant is owner of record for the property in question. Deeds can be obtained from Oceana County. If applicant is not the owner of the property, the City will require a letter from the owner of record authorizing the applicant to make this application.

SKETCH: Include 10 copies of a parcel map drawn at a scale of not less than 1" = 200' if the parcel is under three acres and 1" = 100' if the parcel is three acres or more. This sketch must show the property dimensions, all buildings existing or proposed on the site, the size of all structures within 50 feet of the property, the location and size of other important property characteristics such as easements, public right of way, septic fields, etc.

Wesley VanderWilk - Treasurer

PRINT Name of Applicant



SIGNATURE of Applicant

June 18, 2026

Date

FOR OFFICE USE ONLY

Date Received: _____ Checked By: _____ Fee Collected: _____

ATTACHMENT A

Elevate Oceana is a 501(c)(3) nonprofit organization providing structured transitional housing for individuals recovering from addiction. This rezoning request is essential to allow us to expand our program and better serve residents in Oceana County by supporting their successful return to the community as healthy, productive citizens. Approval of this rezoning is also a required component of a grant application we are pursuing to complete renovations at 301 State Street and make necessary updates to 315 State Street and 111 Church Street. This funding would allow us to expand our capacity from 12 residents to 28.

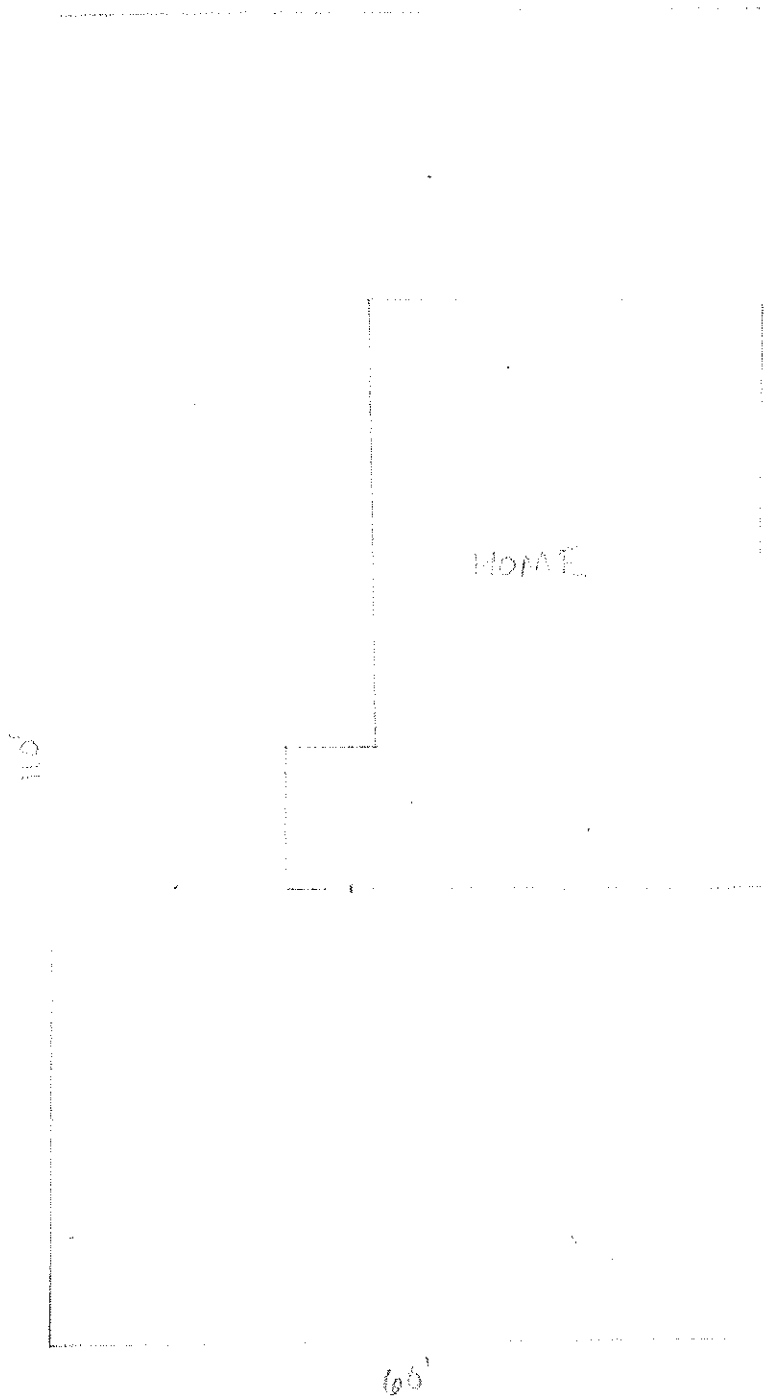
Currently, we are forced to turn away applicants every month due to limited space. Without access to a stable and supportive environment, many of these individuals return to previous living situations that often lead to relapses and further hardship. Our program is structured and supervised, with dedicated house managers at each location. Participants are held accountable through program requirements that include attending recovery meetings, maintaining employment, paying program fees, and actively volunteering within the community. These expectations help build responsibility, stability, and long-term success.

The 301 State Street property will serve as a central hub for our program, providing shared resources such as meeting spaces, a recreation area, common gathering areas, and a commercial kitchen for residents' use.

Parking will be minimal, as most residents do not have personal vehicles upon entering the program. Transportation is managed through two program vans, which are used to ensure residents can access employment, appointments, and community obligations.

Elevate Oceana has already demonstrated meaningful success in supporting individuals in recovery. This rezoning will allow us to expand that impact, reduce recidivism, and strengthen our community.

Sketch of 10 Acres





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APPLICATION FOR A REZONING REQUEST

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PROPERTY OWNER INFORMATION

Name of Applicant: _____
Address: _____
Telephone: _____ E-mail: _____

LOCATION OF PROPERTY FOR WHICH THIS REZONING IS REQUESTED

Property Address: 301 S State Street
Cross Streets: State and Church
Parcel ID Number: 64-020-721-003-50 Lot Size (in acres): 0.31
Lot Width: 135 Lot Depth: 150 (irregular)

Present Zoning Classification: A Residential

Requested Zoning Classification: B-2 General Business

Zoning District of Adjacent Properties to the: North B-2 South B-2 East B-2 West A

In the area provided or on a separate sheet, provide a statement indicating why, in your opinion, the requested rezoning is necessary for the presentation and enjoyment of substantial property rights, and why such change will not be detrimental to the public welfare, nor the property of other persons located in the vicinity:

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Wesley VanderWilk - Treasurer

PRINT Name of Applicant

SIGNATURE of Applicant

June 18, 2026

Date

FOR OFFICE USE ONLY

Date Received: _____ Checked By: _____ Fee Collected: _____

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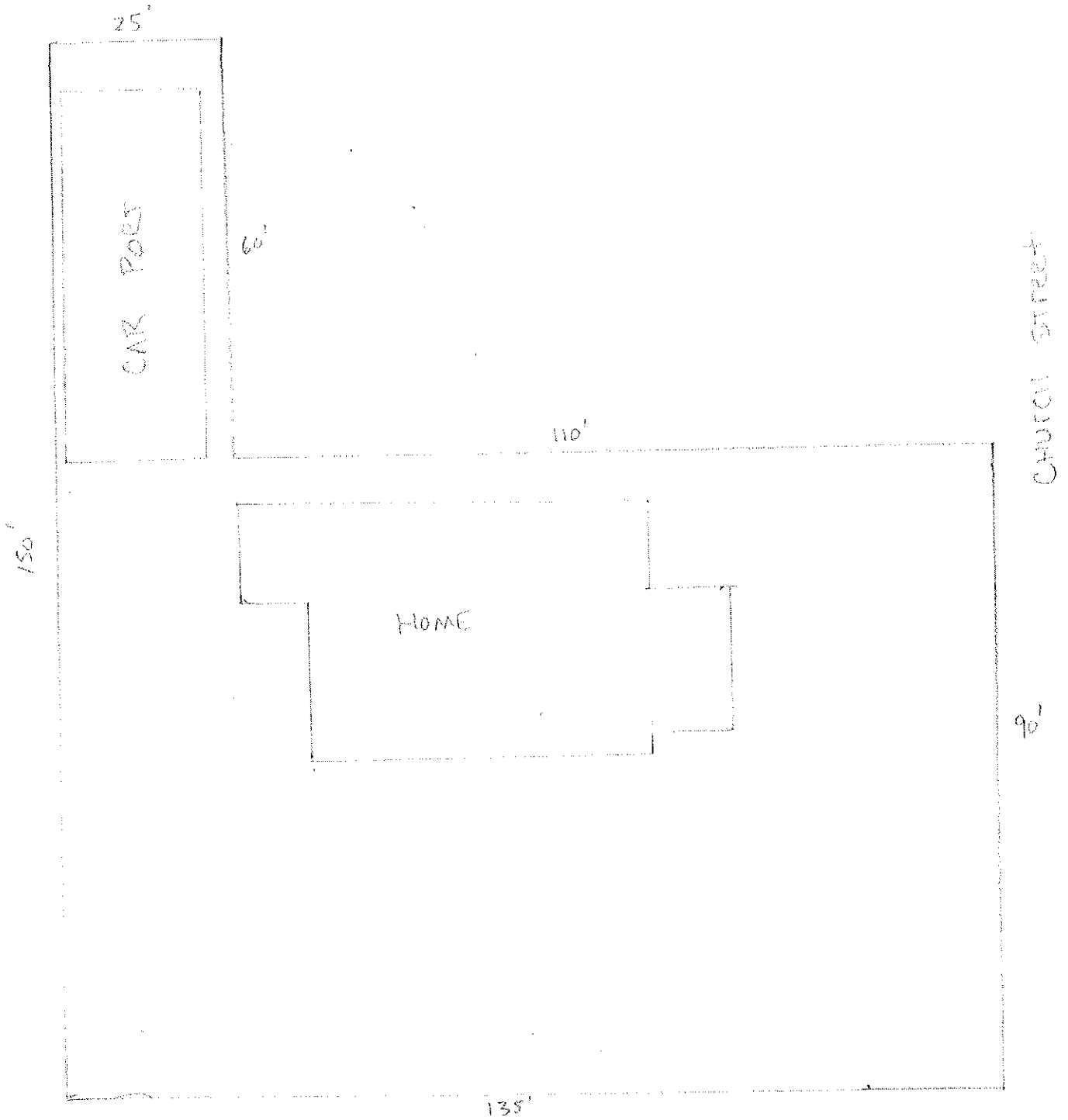
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SECTION OF 301 S STATE



STATE STREET

→ Z